

District 5, 8
 Certcode 0405-0

**CERTIFICATE OF HIGHWAY MILEAGE
 YEAR ENDING FEBRUARY 10, 2020**

Fill out form, make and file copy with the Town Clerk, and mail ORIGINAL, before February 20, 2020 to:
 Vermont Agency of Transportation, Division of Policy, Planning and Intermodal Development, Mapping Section
 219 N. Main Street, Barre, VT 05641.

We, the members of the legislative body of COLCHESTER in CHITTENDEN County
 on an oath state that the mileage of highways, according to Vermont Statutes Annotated, Title 19, Section 305,
 added 1985, is as follows:

PART I - CHANGES TOTALS - Please fill in and calculate totals.

Town Highways	Previous Mileage	Added Mileage	Subtracted Mileage	Total	Scenic Highways
Class 1	0.000			0.000	0.000
Class 2	21.870			21.870	0.000
Class 3	70.82	+0.67		71.49	0.000
State Highway	22.864		-0.013	22.851	0.000
Total	115.554	+0.67	-0.013	116.211	0.000
* Class 1 Lane	0.000			0.000	
* Class 4	0.59		-0.10	0.49	0.000
* Legal Trail	0.68			0.68	

* Mileage for Class 1 Lane, Class 4, and Legal Trail classifications are NOT included in total.

S.M.
K.A.

PART II - INFORMATION AND DESCRIPTION OF CHANGES SHOWN ABOVE.

- NEW HIGHWAYS:** Please attach Selectmen's "Certificate of Completion and Opening".
 +0.35 mi CL3 TH-218 (Lomatire Dr) new road
 +0.21 mi CL3 TH-219 (Wildlife Loop) new road
 +0.11 mi CL3 TH-220 (Churchill Ln) new road
- DISCONTINUED:** Please attach SIGNED copy of proceedings (minutes of meeting).
 - 0.10mi CL 4 TH 32 discontinued
- RECLASSIFIED/REMEASURED:** Please attach SIGNED copy of proceedings (minutes of meeting).
 - 0.013 miles of VT-2A due to project STP 5600(9)S [PIN 97d206]
- SCENIC HIGHWAYS:** Please attach a copy of order designating/discontinuing Scenic Highways.

Received
 JAN 23 2020
 Policy, Planning & Intermodal
 Development Division

IF THERE ARE NO CHANGES IN MILEAGE: Check box and sign below. []

PART III - SIGNATURES - PLEASE SIGN.

Selectmen/ Aldermen/ Trustees Signatures:

[Handwritten signatures]

T/C/V Clerk Signature: *Kessy Jenkins*

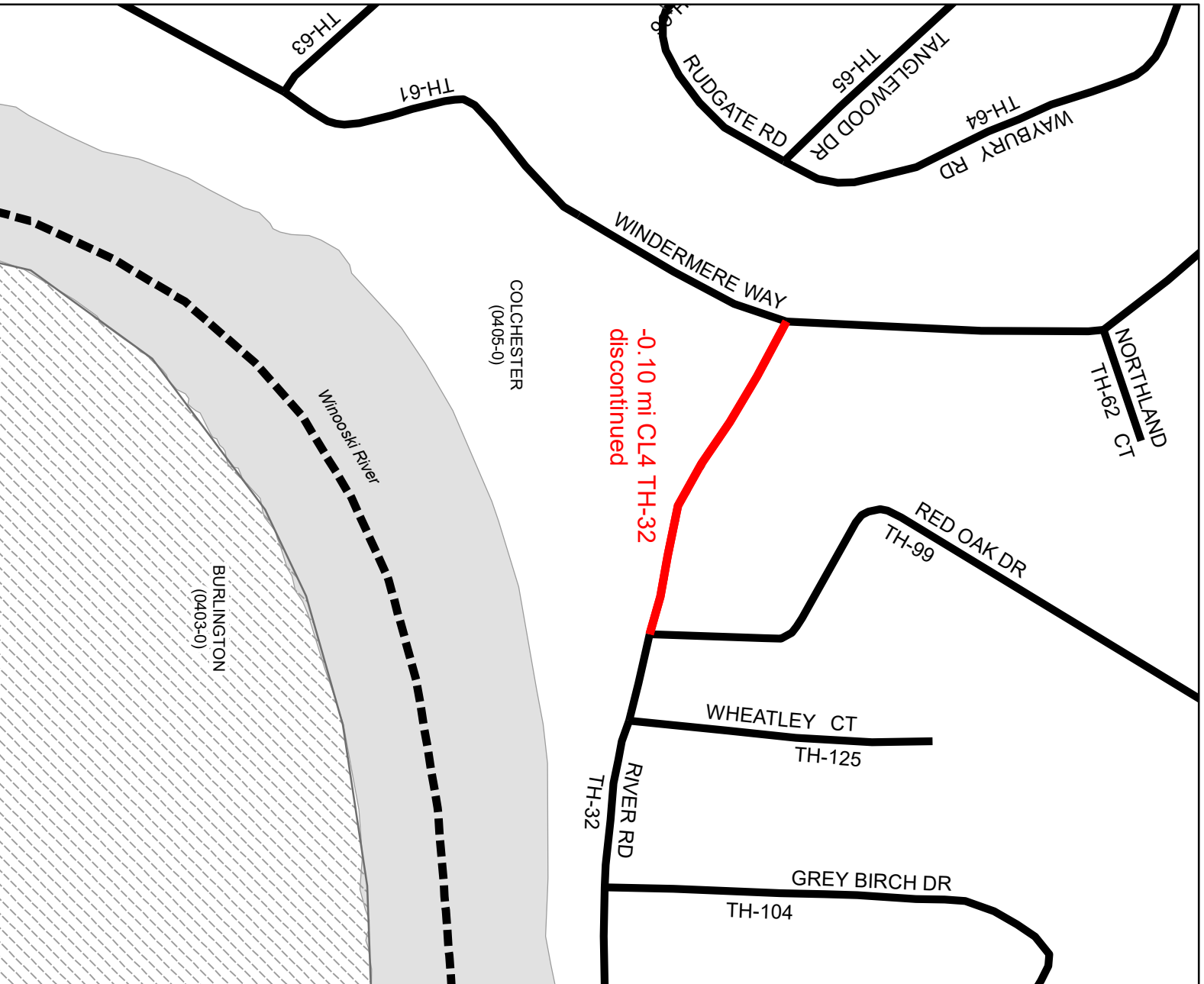
Date Filed: 1/16/2020 @ 8:00AM

Please sign ORIGINAL and return it for Transportation signature.

AGENCY OF TRANSPORTATION APPROVAL: Signed copy will be returned to T/C/V Clerk.

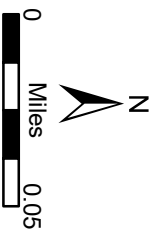
APPROVED: E-SIGNED by Johnathan Croft on 2020-10-07 16:18:15 EDT
 Representative, Agency of Transportation

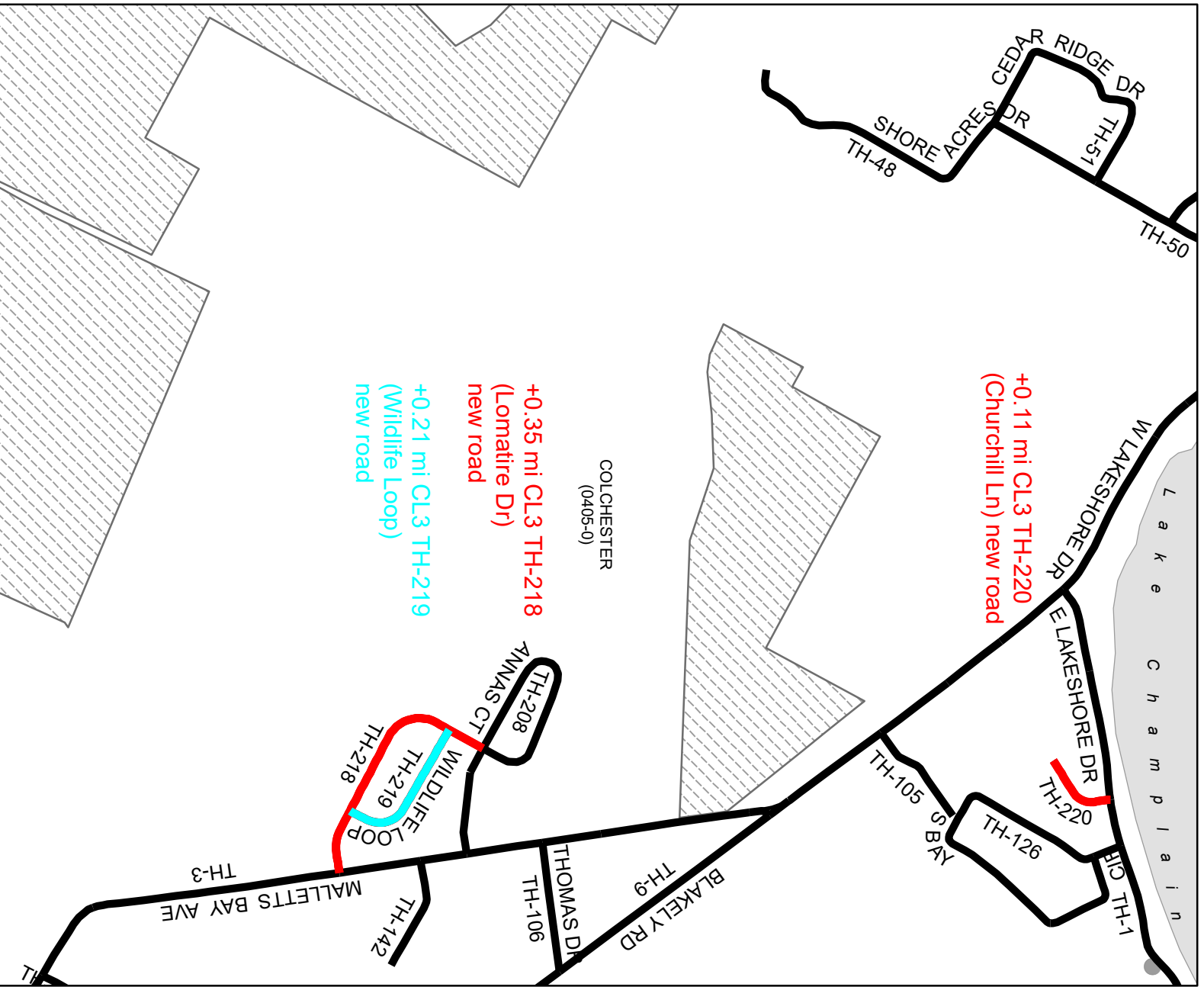
DATE: October 07, 2020



Mileage Certificate Changes
COLCHESTER
 (CTUA: 0405-0)

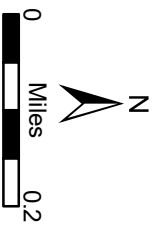
Mapping Section
 Division of Policy and Planning
 Vermont Agency of Transportation -- April 28, 2020

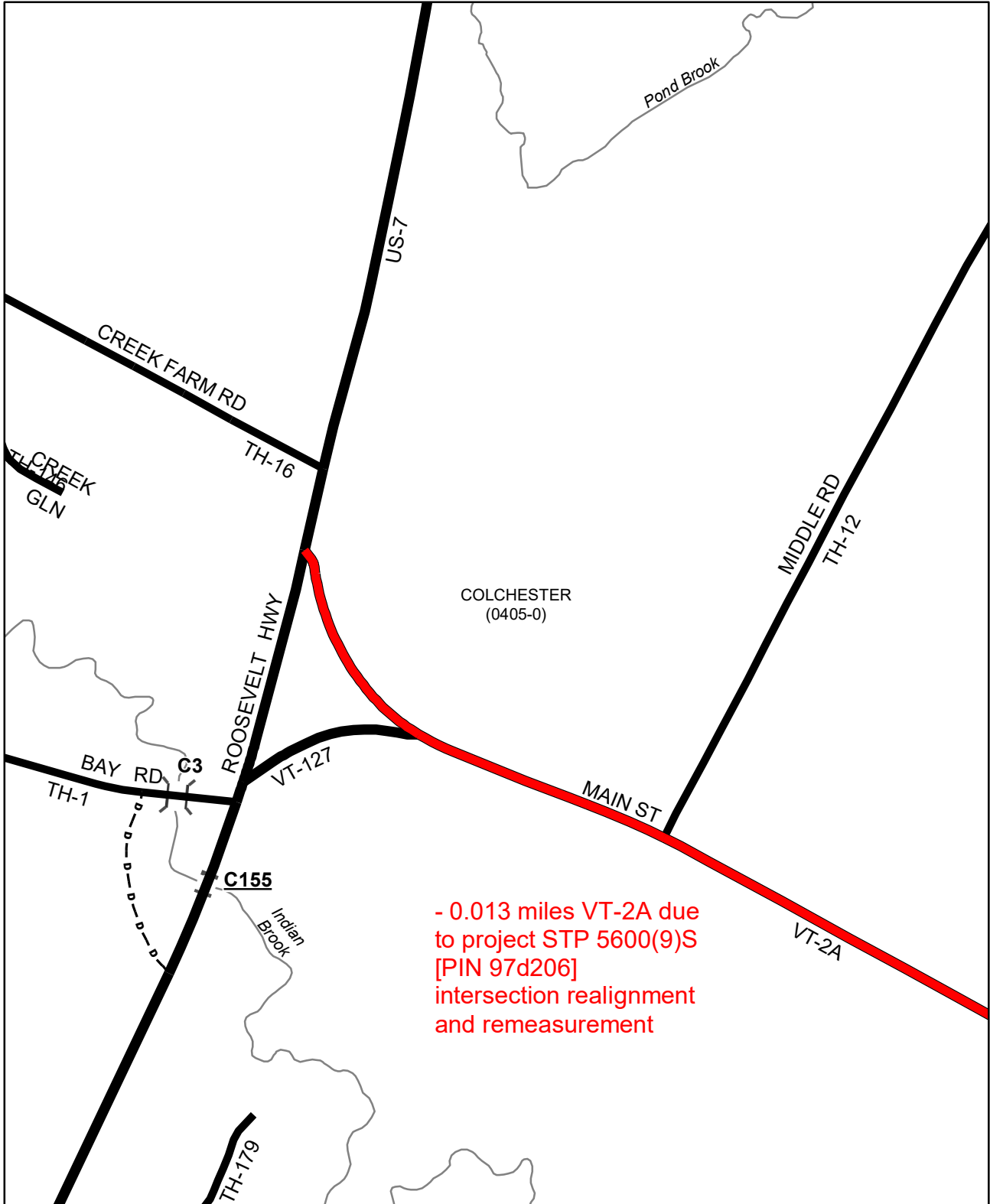




**Mileage Certificate Changes
COLCHESTER**
(CTUA: 0405-0)

Mapping Section
Division of Policy and Planning
Vermont Agency of Transportation -- April 28, 2020

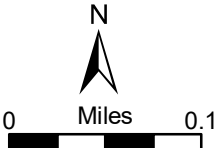


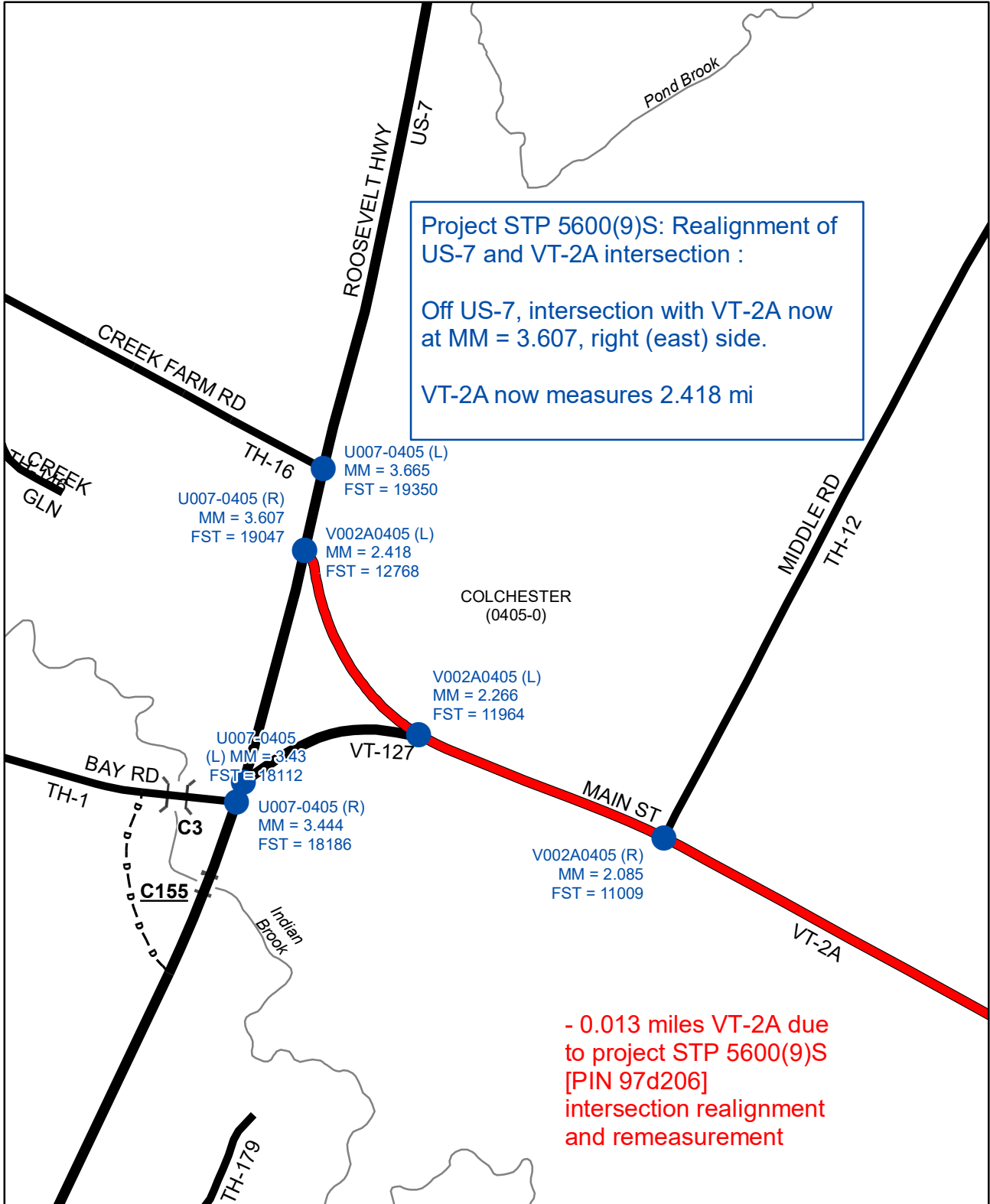


- 0.013 miles VT-2A due to project STP 5600(9)S [PIN 97d206] intersection realignment and remeasurement

**Mileage Certificate Changes
COLCHESTER**
(CTUA: 0405-0)

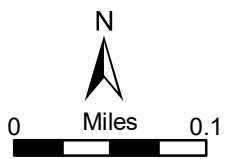
Mapping Section
Division of Policy and Planning
Vermont Agency of Transportation -- April 28, 2020





**Mileage Certificate Changes
COLCHESTER**
(CTUA: 0405-0)

Mapping Section
Division of Policy and Planning
Vermont Agency of Transportation -- December 7, 2020



Alley, Kerry

From: Warner Rackley <WRackley@colchestervt.gov>
Sent: Friday, October 25, 2019 10:16 AM
To: Alley, Kerry
Subject: New streets for Colchester in 2019
Attachments: [Hwy Bk-8 Pg-86 Wildlife.pdf](#); [Hwy Bk-8 Pg-85 Lomartire.pdf](#); [Hwy Bk-8 Pg-84 Churchill.pdf](#); [2016-54-S3-RD.dwg](#); [Churchill Ln Record Drawing - REVISED 9-25-19.pdf](#); [2016-53 - Sheets RD1 - RD5 Revised 10.7.19.pdf](#); [2016-53-RD 10.7.19.dwg](#)

Kerry,

In addition to the discontinuance that I sent earlier, there will be three additions for filing next year. Copies of the opening certs and maps should be attached. Let me know if you have questions.

Thanks,
Warner

We have eliminated our post office box, for US mail and package deliveries please use the address listed below.



Warner C. Rackley, PE
Asst. Public Works Dir./Town Engineer
Department of Public Works

Town of Colchester
781 Blakely Rd.
Colchester, Vermont 05446
P: 802.264.5635 | F: 802.264.5503

colchestervt.gov

Notice – Under Vermont's Public Records Act, all e-mail, e-mail attachments as well as paper copies of documents received or prepared for use in matters concerning Town business, concerning a Town official or staff, or containing information relating to town business are likely to be regarded as public records which may be inspected by any person upon request, unless otherwise made confidential by law. If you have received this message in error, please notify us immediately by return email. Thank you for your cooperation.

TOWN OF COLCHESTER
781 Blakely Road
Colchester, Vermont 05446

COLCHESTER, VT.
RECEIVED FOR RECORD
October 23 AD. 2019 AT
3 O'Clock 45 Min. PM
Recorded in Vol. 8 Page 86
of the Land Records.
Attest: Kessy Jenkins
Asst. Town Clerk

CERTIFICATE FOR OPENING A TOWN HIGHWAY KNOWN AS

Wildlife Loop

FOR PUBLIC TRAVEL IN THE TOWN OF COLCHESTER

This is to certify that pursuant to Title 19, Chapter 7, Section 349 V.S.A., the Selectboard of the Town of Colchester at a public meeting held at Colchester, on October 22, 2019 accepted as a Town Highway that parcel of land conveyed to the Town of Colchester.

Description of Right-of-Way:

Being the roadway depicted as Wildlife Loop on the plan of land entitled, "Subdivision Plat of Lands Owned by the Cosino Lomartire Revocable Trust, "Lomartire Farms", Westerly Side of Malletts Bay Avenue, Town of Colchester, County of Chittenden, State of Vermont", Plan Sheets PL1 and PL2, prepared by O'Leary-Burke Civil Associates, PLC, dated April 19, 2018, and recorded in Map Slides 499B and 499C of the Town of Colchester Land Records.

Grantor reserves the right to construct, install, maintain and replace utility lines under and along said roadways for the transmission of electricity, telephone, cable television, water, sewer, footing drains and storm drains and the installation of force mains and any other utilities to service the planned community known as Lomartire Farms, as shown on said plan of land. The construction and installation of said utilities shall be in accordance with the permits granted by the Town of Colchester and State of Vermont. The rights reserved by Grantor herein are temporary and shall terminate upon the complete construction of the project.

Being a portion of the land and premises conveyed to conveyed to Rivers Edge Building Development, LLC by Warranty deed of Cosino Lomartire, as Trustee of the Cosino Lomartire Revocable Trust u/t/a dated October 4, 2005, dated July 6, 2018 and recorded in Volume 839 at Page 448 of the Town of Colchester Land Records.

Said land and premises are subject to the terms and conditions of the following, as they may be amended from time to time:

1. Wastewater System and Potable Water Supply Permit No. WW-C-0638 dated May 29, 2018 and recorded in Volume 837 at Page 317 of the Town of Colchester Land Records.
2. Land Use Permit No. 4C1292-1A dated July 6, 2018 and recorded in Volume 839 at Page 427 of said Land Records.
3. Stormwater Discharge Permit No. 7904-9015 dated May 3, 2018, and recorded in Volume 840 at Page 284 of said Land Records.

Hwy Bk-8 Pg-86 Wildlife.pdf

TOWN OF COLCHESTER
781 Blakely Road
Colchester, Vermont 05446

COLCHESTER, VT.
RECEIVED FOR RECORD
October 23 AD. 2019 AT
3 O'Clock 45 Min. P.M.
Recorded in Vol. 8 Page 85
of the Land Records.
AS Krissey Jenkins
Asst. Town Clerk

CERTIFICATE FOR OPENING A TOWN HIGHWAY KNOWN AS

Lomartire Drive

FOR PUBLIC TRAVEL IN THE TOWN OF COLCHESTER

This is to certify that pursuant to Title 19, Chapter 7, Section 349 V.S.A., the Selectboard of the Town of Colchester at a public meeting held at Colchester, on October 22, 2019 accepted as a Town Highway that parcel of land conveyed to the Town of Colchester.

Description of Right-of-Way:

Being the roadway depicted as Lomartire Drive on the plan of land entitled, "Subdivision Plat of Lands Owned by the Cosino Lomartire Revocable Trust, "Lomartire Farms", Westerly Side of Malletts Bay Avenue, Town of Colchester, County of Chittenden, State of Vermont", Plan Sheets PL1 and PL2, prepared by O'Leary-Burke Civil Associates, PLC, dated April 19, 2018, and recorded in Map Slides 499B and 499C of the Town of Colchester Land Records.

Grantor reserves the right to construct, install, maintain and replace utility lines under and along said roadways for the transmission of electricity, telephone, cable television, water, sewer, footing drains and storm drains and the installation of force mains and any other utilities to service the planned community known as Lomartire Farms, as shown on said plan of land. The construction and installation of said utilities shall be in accordance with the permits granted by the Town of Colchester and State of Vermont. The rights reserved by Grantor herein are temporary and shall terminate upon the complete construction of the project.

Being a portion of the land and premises conveyed to conveyed to Rivers Edge Building Development, LLC by Warranty deed of Cosino Lomartire, as Trustee of the Cosino Lomartire Revocable Trust u/t/a dated October 4, 2005, dated July 6, 2018 and recorded in Volume 839 at Page 448 of the Town of Colchester Land Records.

Said land and premises are subject to the terms and conditions of the following, as they may be amended from time to time:

1. Wastewater System and Potable Water Supply Permit No. WW-C-0638 dated May 29, 2018 and recorded in Volume 837 at Page 317 of the Town of Colchester Land Records.
2. Land Use Permit No. 4C1292-1A dated July 6, 2018 and recorded in Volume 839 at Page 427 of said Land Records.
3. Stormwater Discharge Permit No. 7904-9015 dated May 3, 2018, and recorded in Volume 840 at Page 284 of said Land Records.

Hwy BK-8 Pg-85 Lomartire.pdf

4. Public Water System Permit to Construct, Project No. C-3557-18.0, WSID No. VT0005059, dated May 1, 2018 and of record with the State of Vermont Department of Environmental Conservation, Water Supply Division.
5. Town of Colchester Development Review Board Findings of Fact and Order dated June 25, 2018 and recorded in the Town of Colchester Zoning Files.
6. Threatened and Endangered Species Taking Permit No. EM-2014-16 dated August 11, 2014 and of record with the State of Vermont Agency of Natural Resources.

Reference is hereby made to the above-mentioned instruments, the records thereof, the references therein made, and their respective records and references, in further aid of this description.

Date Accepted by Selectboard:

October 22, 2019

Length of New Road: 0.35 miles

Road Classification: Class 3

Right Of Way Width: 60 ft.

Road Width: 26 ft.

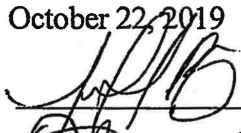
Surface Type: Asphalt

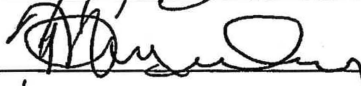
Speed Limit: 25 mph

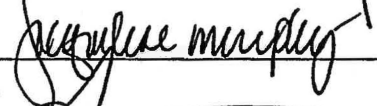
Hwy #: _____


Recorded in Highway Volume _____ Page(s): _____, Town of Colchester, on

_____ Plat/Slide Number: 499









 Selectboard

TOWN OF COLCHESTER
781 Blakely Road
Colchester, Vermont 05446

COLCHESTER, VT.
RECEIVED FOR RECORD
October 23 AD. 2019 AT
3 O'Clock 45 Min. P M
Recorded in Vol. 8 Page 84
of the Land Records.
Attest: *Kessie Jenkins*
Asst. Town Clerk

CERTIFICATE FOR OPENING A TOWN HIGHWAY KNOWN AS

Churchill Lane

FOR PUBLIC TRAVEL IN THE TOWN OF COLCHESTER

This is to certify that pursuant to Title 19, Chapter 7, Section 349 V.S.A., the Selectboard of the Town of Colchester at a public meeting held at Colchester, on October 22, 2019 accepted as a Town Highway that parcel of land conveyed to the Town of Colchester.

Description of Right-of-Way:

Being the roadway depicted as Churchill Lane, Public Right of Way Area, 0.86 Acres on the plan of land entitled, "Churchill Lane – PUD Plat, East Lakeshore Drive – Colchester, Vermont, Mary Jane Vartuli and Susan Pasha", prepared by O'Leary-Burke Civil Associates, PLC, dated January 4, 2017, and recorded in Map Slide 489E of the Town of Colchester Land Records, as well as all street lights and street trees within said right of way area.

Also being the easement area depicted as "Typ. "L-Style" Turn-Around Easement Area to be Released to H.O.A. and Turn-Around Removed if Public Road is to be Extended in the Future" on the aforementioned plan of land. The turn-around easement will revert to the Churchill Lane Homeowners Association, Inc. in the event the public road is extended in the future.

Grantor reserves the right to construct, install, maintain and replace utility lines under and along said roadway and easement area for the transmission of electricity, telephone, cable television, water, sewer, footing drains and storm drains and the installation of force mains and any other utilities to service the planned community known as Churchill Lane Condominium and Churchill Lane Cottage Homes, as shown on said plan of land. The construction and installation of said utilities shall be in accordance with the permits granted by the Town of Colchester and State of Vermont. The rights reserved by Grantor herein are temporary and shall terminate upon the complete construction of the project.

Being a portion of the land and premises conveyed to Churchill Lane, LLC by Warranty Deed of Raymond J. Vartuli, Jr., Fiduciary of the Estate of Mary Jane Vartuli, and Susan G. Pasha dated June 2, 2017 and recorded in Volume 819 at Page 715 of the Town of Colchester Land Records.

Reference is made to the following:

1. A utility easement from Ray Churchill and Iona Churchill to Green Mountain Power Corporation by instrument dated May 8, 1972 and recorded in Miscellaneous Volume 24 at Page 480 of the Town of Colchester Records;
2. Warranty Deed from Ray Churchill and Iona Churchill to the Town of Colchester dated March 26, 1979 and recorded in Volume 93 at Page 478 of the Town of Colchester Records. Said Warranty Deed conveys a parcel of land to be used as a public highway, and contains a condition with respect to the extension of the roadway.

Hwy Bk-8 Pg-84 Churchill. pdf

3. Easement Deed for force mains from Churchill Lane, LLC to Churchill Lane Homeowners Association, Inc. dated July 27, 2017 and recorded in Volume 822 at Page 696 of the Town of Colchester Land Records.
4. Easement Deed for stormwater easements from Churchill Lane, LLC to the Town of Colchester dated July 27, 2017 and recorded in Volume 822 at Page 698 of said Land Records.
5. Maintenance Agreement For New Stormwater Management Systems With a General Permit between the Town of Colchester, Churchill Lane, LLC and Churchill Lane Homeowners Association, Inc.

Said land and premises are subject to the terms and conditions of the following, as they may be amended from time to time:

1. State of Vermont Wastewater System and Potable Water Supply Permit #WW-C-0592 dated May 15, 2017 and recorded in Volume 818 at Page 452 of the Colchester Town Land Records. A Town of Colchester Memorandum of Certificate for State Wastewater Permit #WW-C-0592 was recorded May 15, 2017 in Volume 818 at Page 451 of said Land Records.
2. State of Vermont Authorization to Discharge Under General Permit 3-9015, Permit No. 7738-9015, dated April 13, 2017.
3. Town of Colchester Development Review Board Findings of Fact and Order dated May 10, 2017. A Town of Colchester Memorandum of Notice of the Findings of Fact and Order was recorded on May 22, 2017 in Volume 818 at Page 743 of said Land Records.

Reference is hereby made to the above-mentioned instruments, the records thereof, the references therein made, and their respective records and references, in further aid of this description.

Date Accepted by Selectboard: _____

October 22, 2019

Length of New Road: 0.11 miles

Road Classification: Class 3

Right Of Way Width: 60 ft.

Road Width: 22 ft.

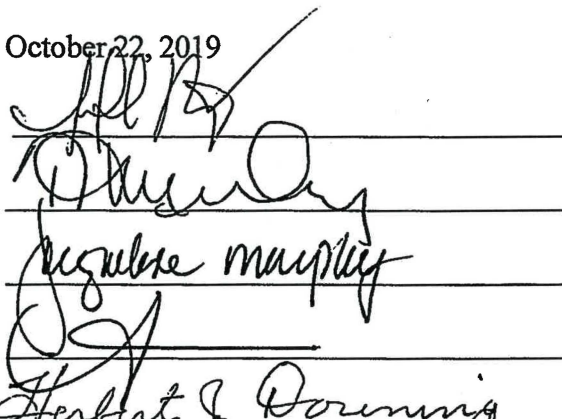
Surface Type: Asphalt

Speed Limit: 25 mph

Hwy #: _____

Recorded in Highway Volume _____ Page(s): _____, Town of Colchester, on

_____ Plat/Slide Number: 489E

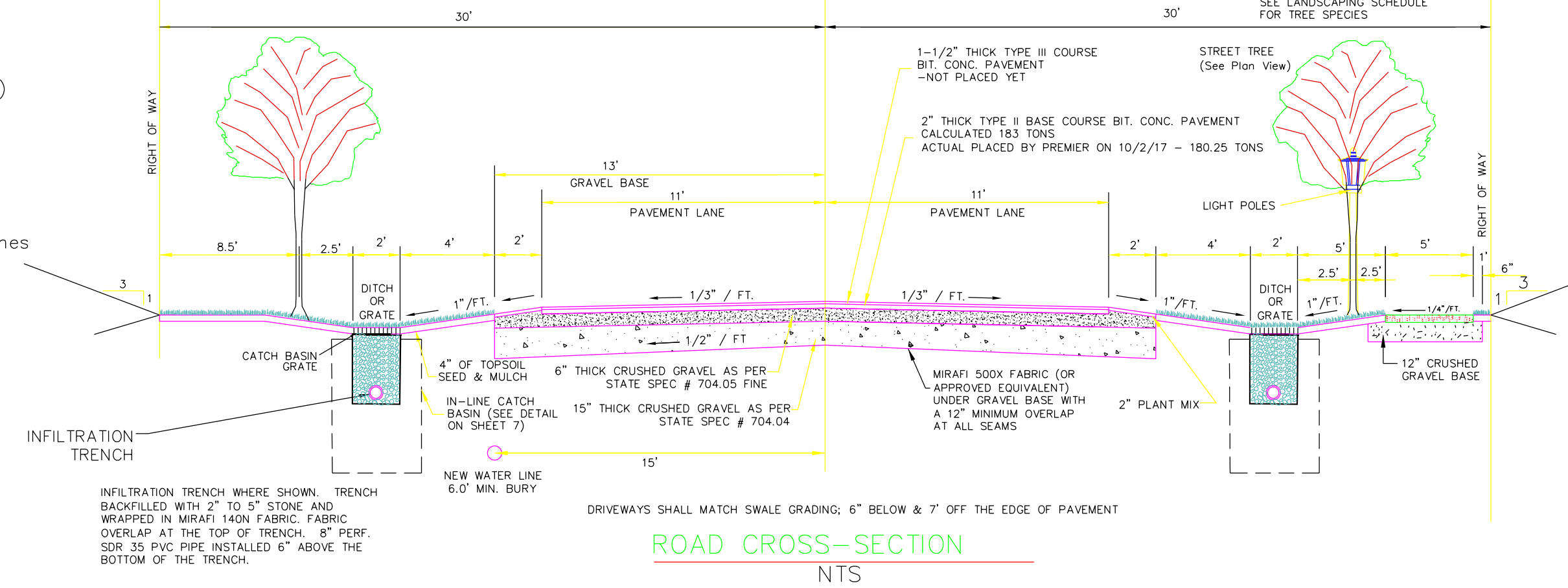


 Herbert J. Downing
 Selectboard

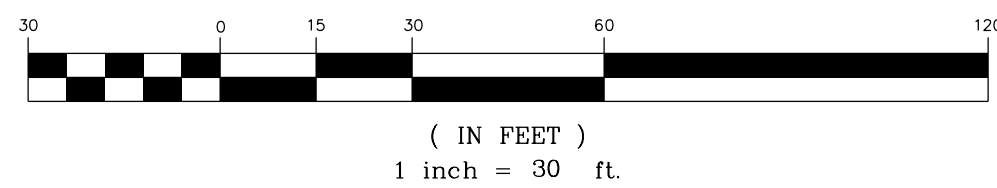
Proposed Street Tree Landscaping Schedule

Symbol	Quantity	Common Name	Botanic Name	Size	Cost
	8	Littleleaf Linden	<i>Tilia cordata</i>	2 -2 1/2" Caliper	\$400 Each / \$3,200
	7	European Horsechestnut	<i>Aesculus hippocastanum</i>	2 -2 1/2" Caliper	\$400 Each / \$2,800
	7	Thornless Honeylocust	<i>Gleditsia triacanthos inermis</i>	2 -2 1/2" Caliper	\$400 Each / \$2,800
Total	22; 50' on Center				\$8,800

*Note: All planting species may be substituted with "Large Trees" per Colchester Street Tree Master Plan



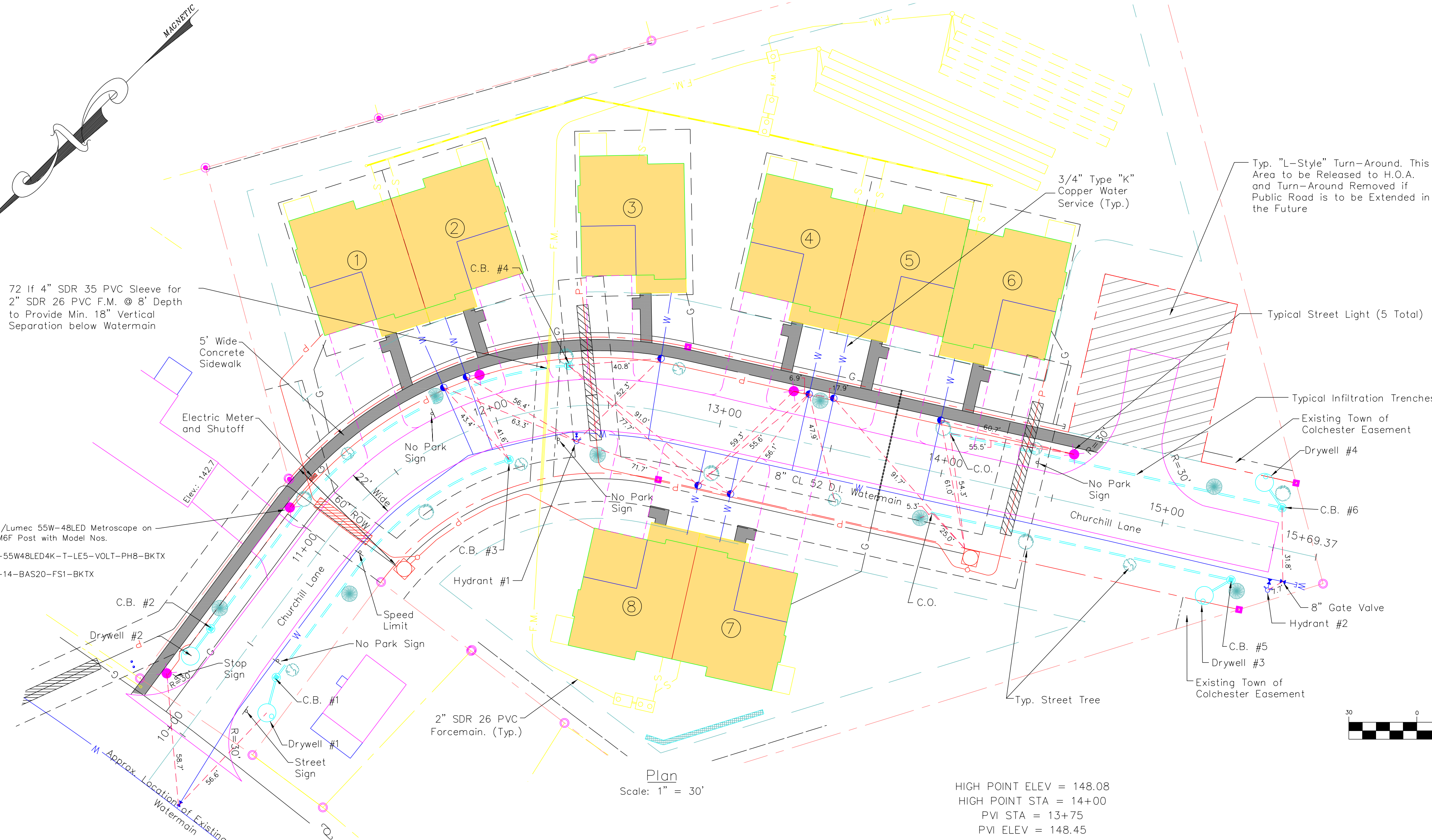
GRAPHIC SCALE



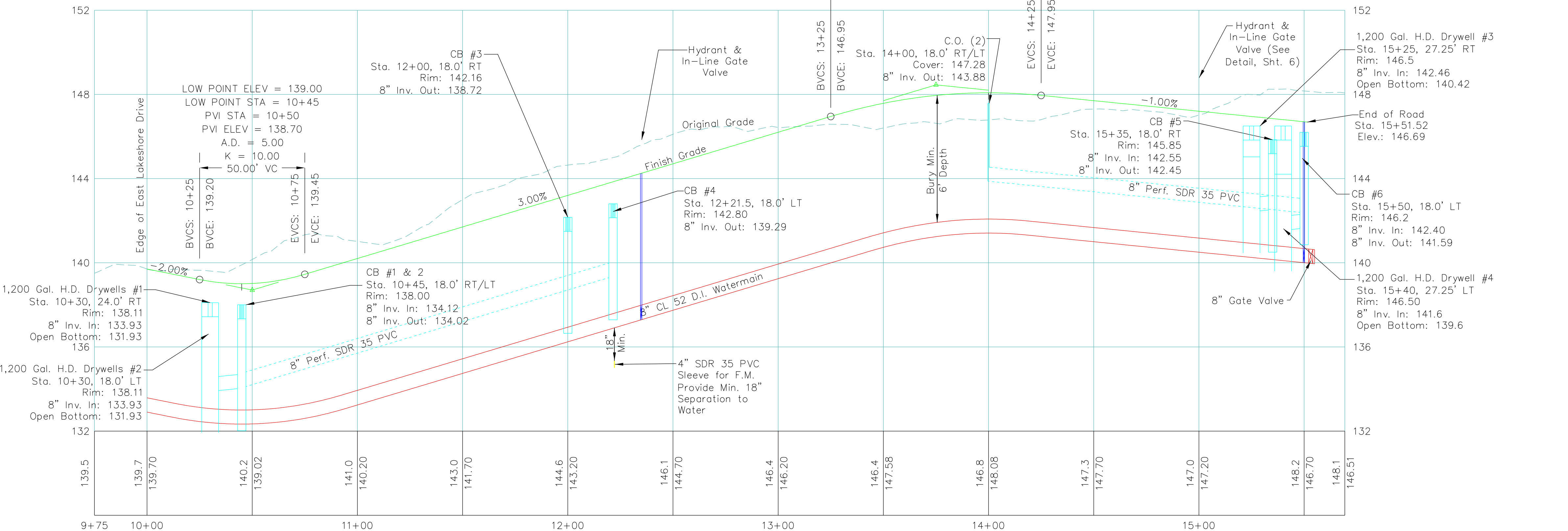
Legend

- Project Boundary
- Proposed Property Line
- Abutting Property Line
- Sideline of Easement
- Typical Street Tree
- Street Light
- Infiltration Trench w/ Catch Basin
- Drywell
- Waterline w/ Gate Valve
- Hydrant
- Forcemain
- Gravity Sewer Line
- Electric Meter and Shutoff
- Property Corner Rebar
- Concrete Monument

Important note:
 the underground power/telephone/tv utilities are shown based on as-built survey data and best available information during construction. the locations may or may not be accurate or complete and o'leary-burke assumes no liability for their exact location. always call digsafe before performing any underground work

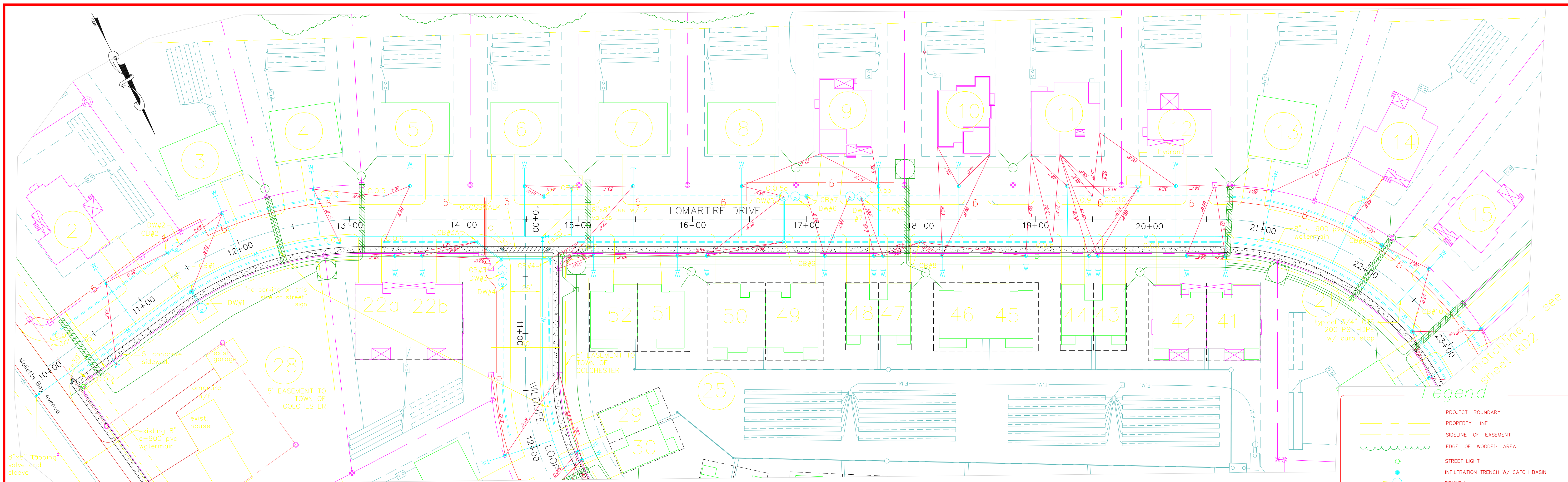


HIGH POINT ELEV = 148.08
 HIGH POINT STA = 14+00
 PVI STA = 13+75
 PVI ELEV = 148.45
 A.D. = -4.00
 K = 25.00
 100.00' VC



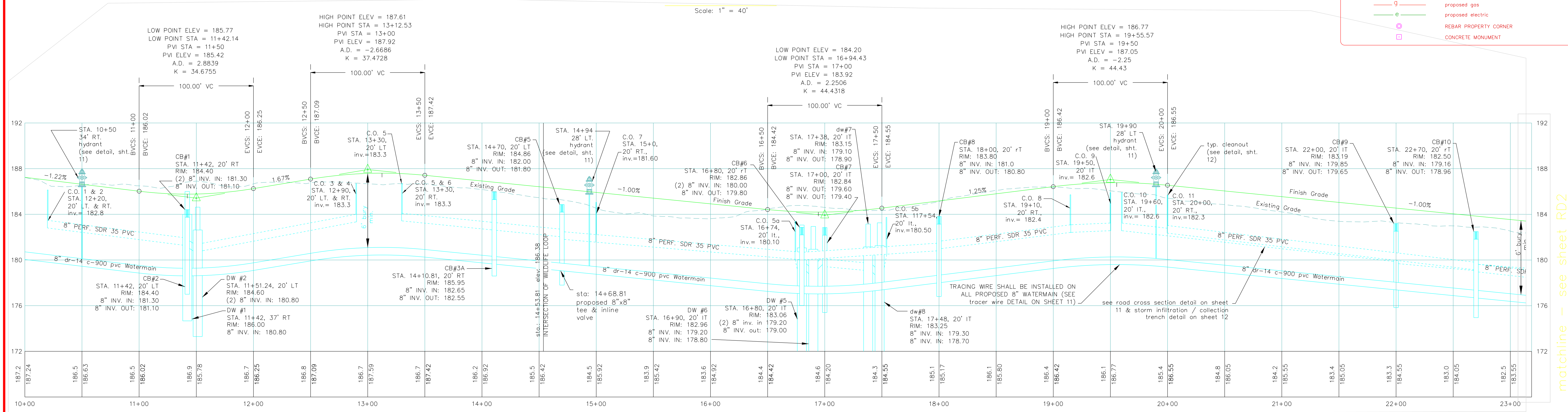
THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.

DATE: 9/25/19	REVISION: REVISED RECORD DRAWING PER TOWN REVIEW COMMENTS	BY: GR
SURVEY: OBCA	RECORD DRAWING	DATE: 11/10/17
DESIGN: OBCA	FINAL	SCALE: 2016-54
DRAWN: PFH	PRELIMINARY	SHEET: 2016-54-53
CHECKED: DWB	SKETCH/CONCEPT	PLAN SHEET #
SCALE: 1" = 30'	CHURCHILL LANE	
O'LEARY-BURKE CIVIL ASSOCIATES, PLLC		RD
13 CORPORATE DRIVE ESSEX JCT, VT PHONE: 878-9999 FAX: 878-9989 E-MAIL: poleary@olearyburke.com		East Lakeshore Drive Colchester, VT Plan & Profile Record Drawing



Plan

Scale: 1" = 40'



LOMARTIRE DRIVE
PROFILE
STA. 10+00 TO 23+00

GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT
1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.

DATE	REVISION	BY
	<input type="checkbox"/> SURVEY	10/7/19
	<input type="checkbox"/> OBCA	
	<input type="checkbox"/> DESIGN	
	<input type="checkbox"/> OBCA	
	<input type="checkbox"/> DRAWN	
	<input type="checkbox"/> D.H.	
	<input type="checkbox"/> CHECKED	
	<input type="checkbox"/> DWB	
	<input type="checkbox"/> SCALE	
	<input type="checkbox"/> H: 1" = 40'	
	<input type="checkbox"/> V: 1" = 4'	

DATE	REVISION	BY
	<input type="checkbox"/> RECORD DRAWING	
	<input type="checkbox"/> FINAL	
	<input type="checkbox"/> PRELIMINARY	
	<input type="checkbox"/> SKETCH/CONCEPT	

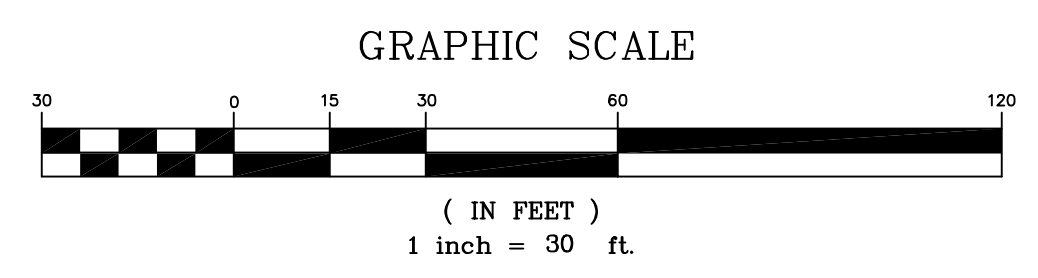
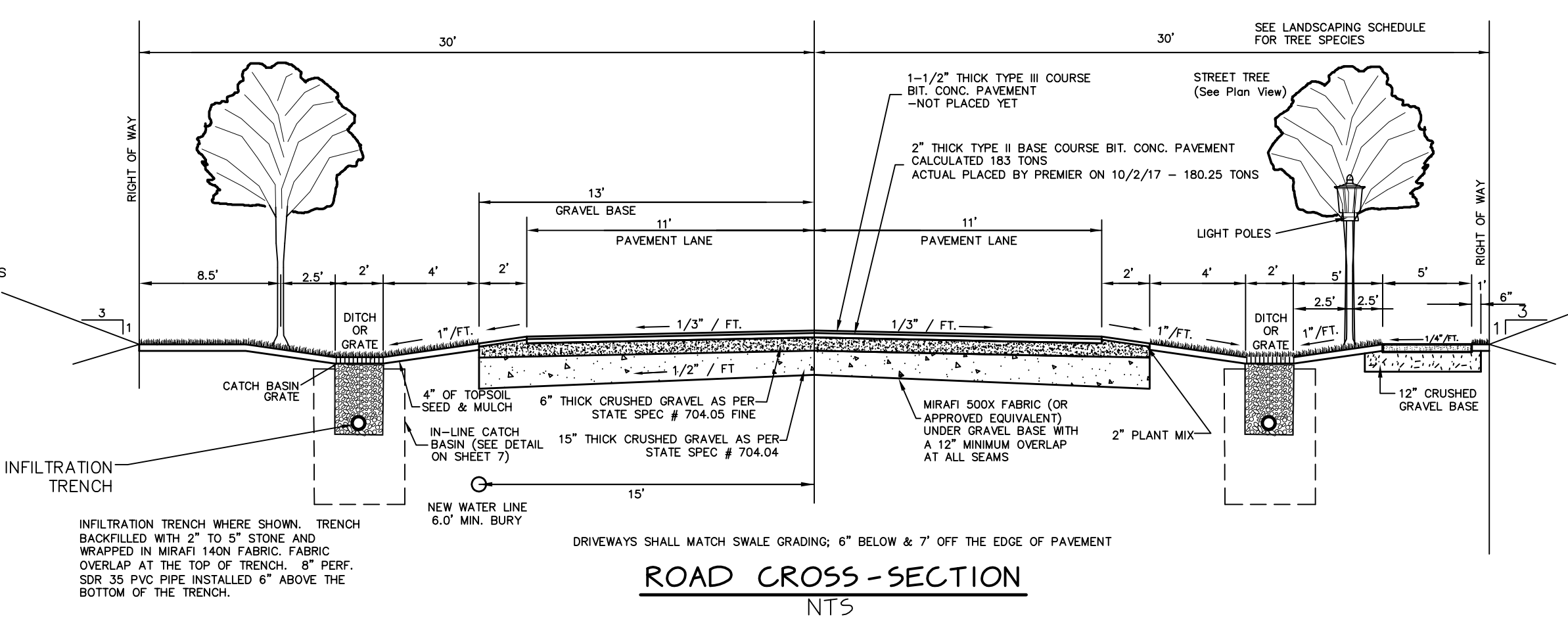
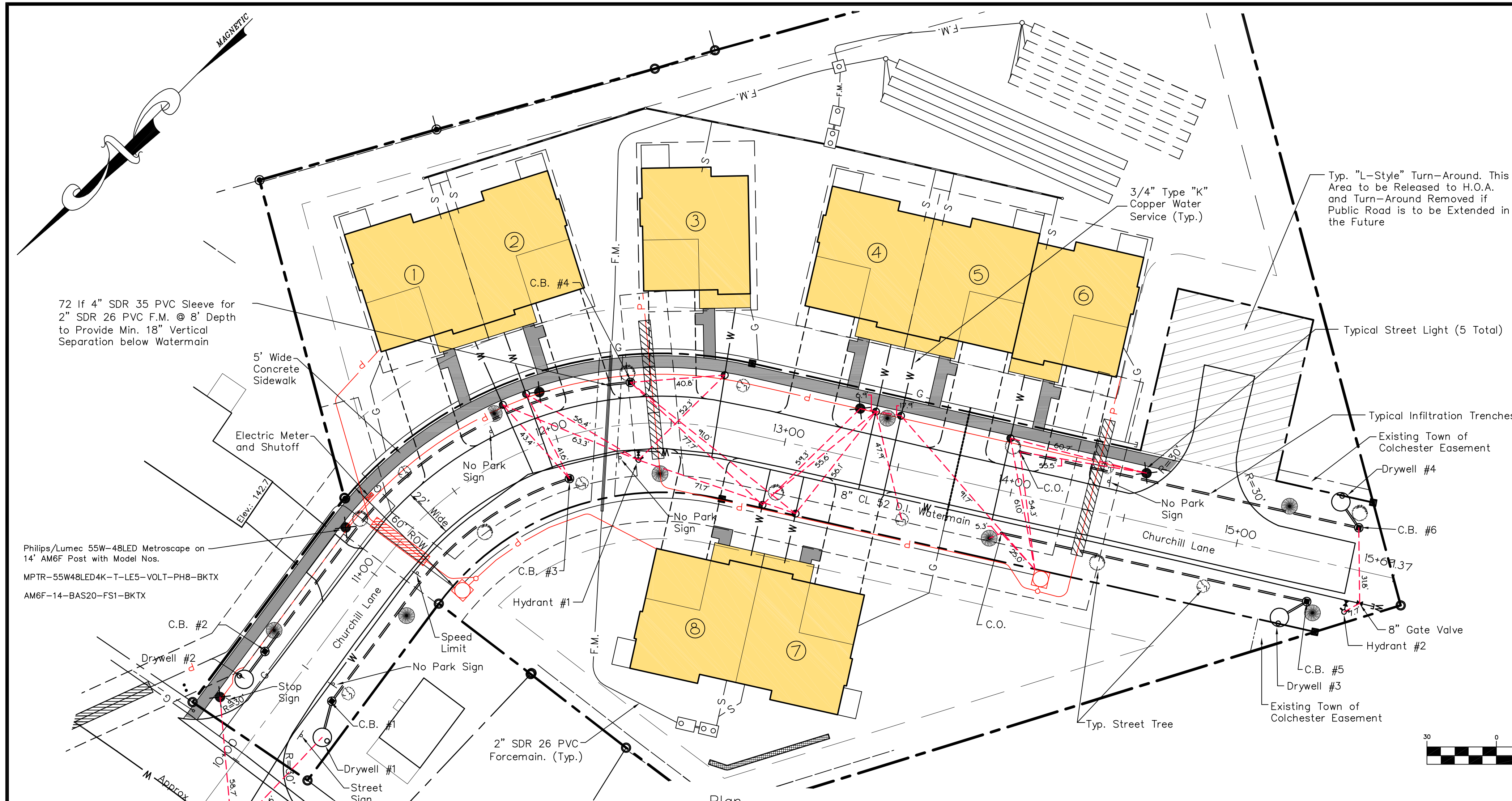
LOMARTIRE FARMS	
A 28 LOT, 50 UNIT P.R.D.	
634 MALLETT'S BAY AVE., COLCHESTER, VT	
PLAN & PROFILE	
LOMARTIRE DRIVE (1 OF 2)	
STA. 10+00 - 23+00	

13 CORPORATE DRIVE ESSEX JCT., VT PHONE: 878-9880 FAX: 878-9889 E-MAIL: obca@olearyburke.com	O'LEARY-BURKE CIVIL ASSOCIATES, PLC
--	--

matchline - see sheet RD2

Proposed Street Tree Landscaping Schedule					
Symbol	Quantity	Common Name	Botanic Name	Size	Cost
	8	Littleleaf Linden	<i>Tilia cordata</i>	2 -2 1/2" Caliper	\$400 Each / \$3,200
	7	European Horsechestnut	<i>Aesculus hippocastanum</i>	2 -2 1/2" Caliper	\$400 Each / \$2,800
	7	Thornless Honeylocust	<i>Gleditsia triacanthos inermis</i>	2 -2 1/2" Caliper	\$400 Each / \$2,800
Total	22	50' on Center			\$8,800

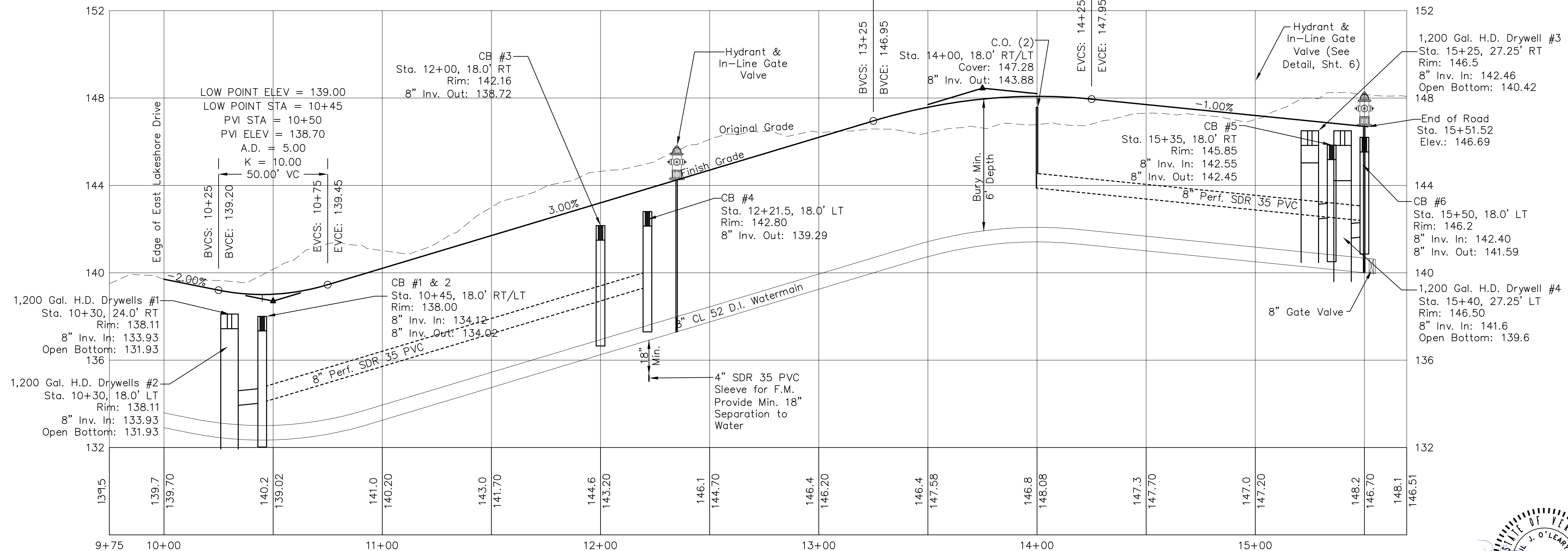
*Note: All planting species may be substituted with "Large Trees" per Colchester Street Tree Master Plan



Legend	
	Project Boundary
	Proposed Property Line
	Abutting Property Line
	Sideline of Easement
	Typical Street Tree
	Street Light
	Infiltration Trench w/ Catch Basin
	Drywell
	Waterline w/ Gate Valve
	Hydrant
	Forcemain
	Gravity Sewer Line
	Electric Meter and Shutoff
	Property Corner Rebar
	Concrete Monument

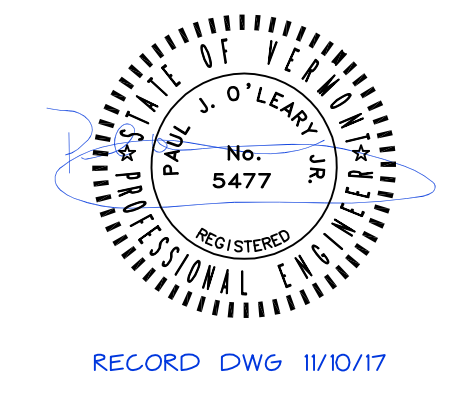
IMPORTANT NOTE:
THE UNDERGROUND POWER/TELEPHONE/TV UTILITIES ARE SHOWN BASED ON AS-BUILT SURVEY DATA AND BEST AVAILABLE INFORMATION DURING CONSTRUCTION. THE LOCATIONS MAY OR MAY NOT BE ACCURATE OR COMPLETE AND O'LEARY-BURKE ASSUMES NO LIABILITY FOR THEIR EXACT LOCATION. ALWAYS CALL DIGSAFE BEFORE PERFORMING ANY UNDERGROUND WORK.

HIGH POINT ELEV = 148.08
HIGH POINT STA = 14+00
PVI STA = 13+75
PVI ELEV = 148.45
A.D. = -4.00
K = 25.00
100.00' VC



Churchill Lane Profile
Horizontal Scale: 1" = 30'
Vertical Scale: 1" = 3'

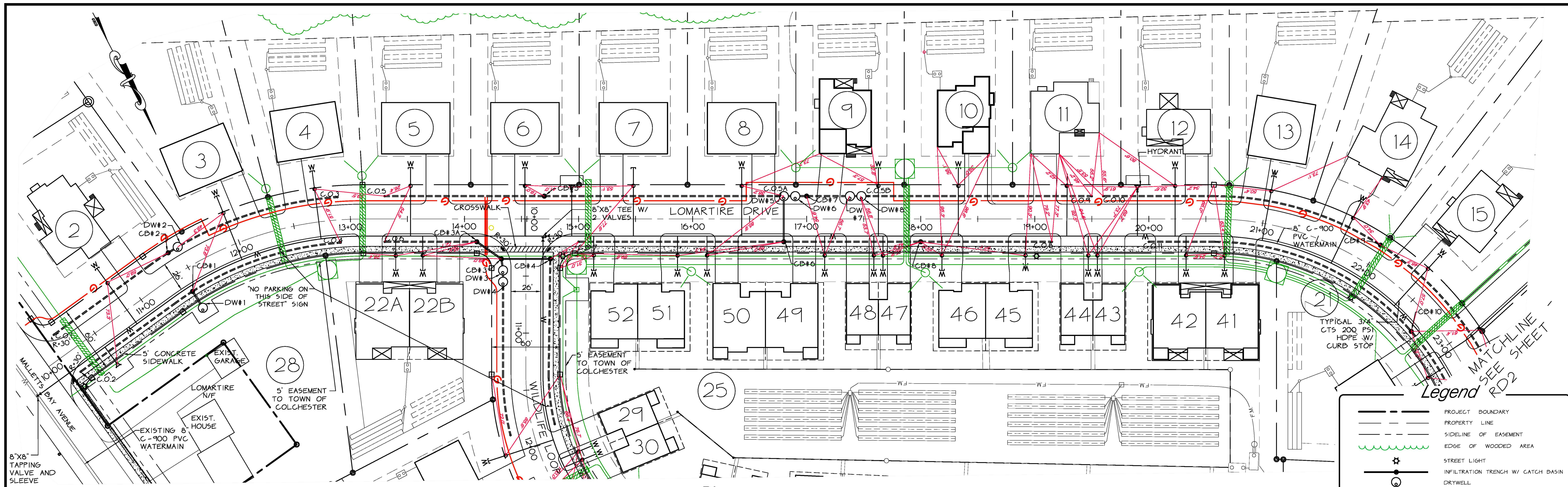
THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.



DATE: 9/25/19	REVISION: REVISED RECORD DRAWING PER TOWN REVIEW COMMENTS	BY: GRT
SURVEY: OBCA	RECORD DRAWING	DATE: 11/10/17
DESIGN: OBCA	FINAL	DATE: 2016-54
DRAWN: PFH	PRELIMINARY	FILE: 2016-54-S3
CHECKED: DWB	SKETCH/CONCEPT	PLAN SHEET #
SCALE: 1" = 30'		RD

CHURCHILL LANE
East Lakeshore Drive Colchester, VT
Plan & Profile
Record Drawing

O'LEARY-BURKE CIVIL ASSOCIATES, PLC
13 CORPORATE DRIVE
ESSEX, VT
PHONE: 878-9999
FAX: 878-9989
E-MAIL: o'leary@olearyburke.com



Plan
SCALE: 1" = 40'

Legend

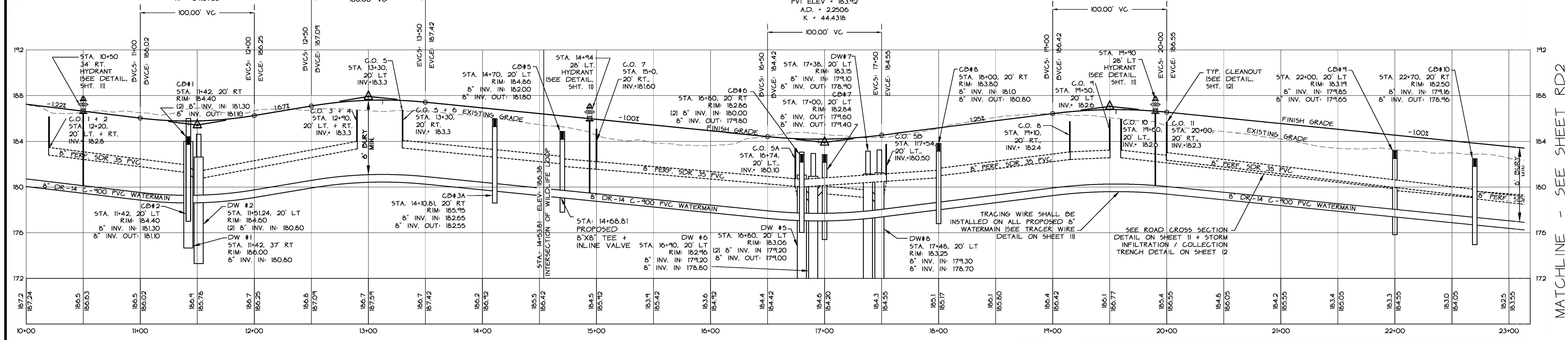
	PROJECT BOUNDARY
	PROPERTY LINE
	SIDELINE OF EASEMENT
	EDGE OF WOODED AREA
	STREET LIGHT
	INFILTRATION TRENCH W/ CATCH BASIN
	DRYWELL
	WATERLINE W/ GATE VALVE
	PROPOSED GAS
	PROPOSED ELECTRIC
	REBAR PROPERTY CORNER
	CONCRETE MONUMENT

LOW POINT ELEV • 185.77
LOW POINT STA • 11+42.14
PVI STA • 11+50
PVI ELEV • 185.42
A.D. • 2.88391
K • 34.6755

HIGH POINT ELEV • 187.61
HIGH POINT STA • 13+12.53
PVI STA • 13+00
PVI ELEV • 187.12
A.D. • -2.66886
K • 37.4728

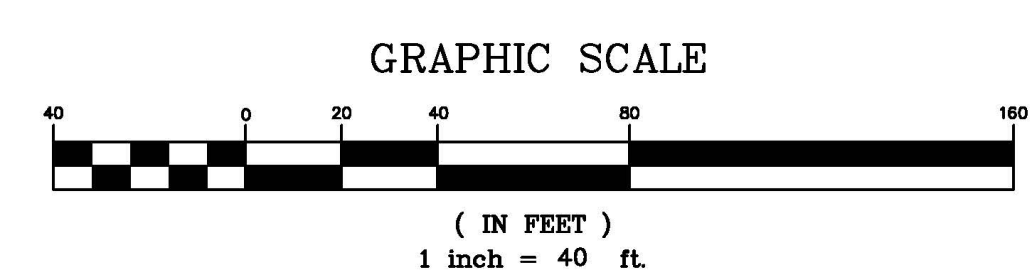
LOW POINT ELEV • 184.20
LOW POINT STA • 16+44.43
PVI STA • 17+00
PVI ELEV • 183.92
A.D. • 2.2506
K • 44.4318

HIGH POINT ELEV • 186.77
HIGH POINT STA • 19+55.57
PVI STA • 19+50
PVI ELEV • 187.05
A.D. • -2.25
K • 44.43



LOMARTIRE DRIVE PROFILE
STA. 10+00 - 23+00

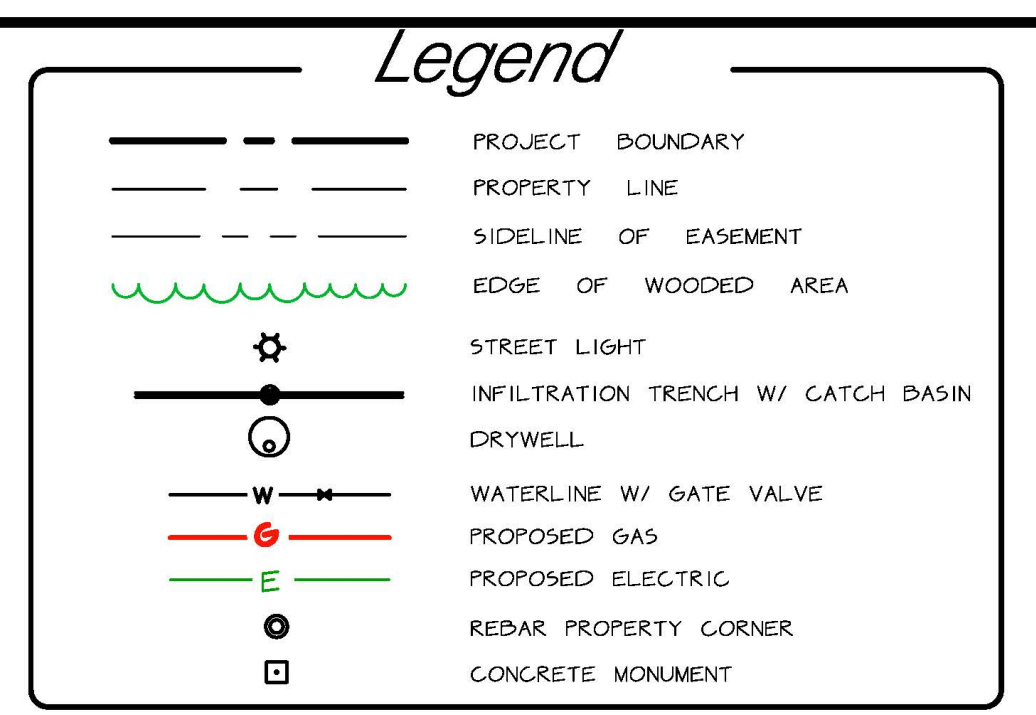
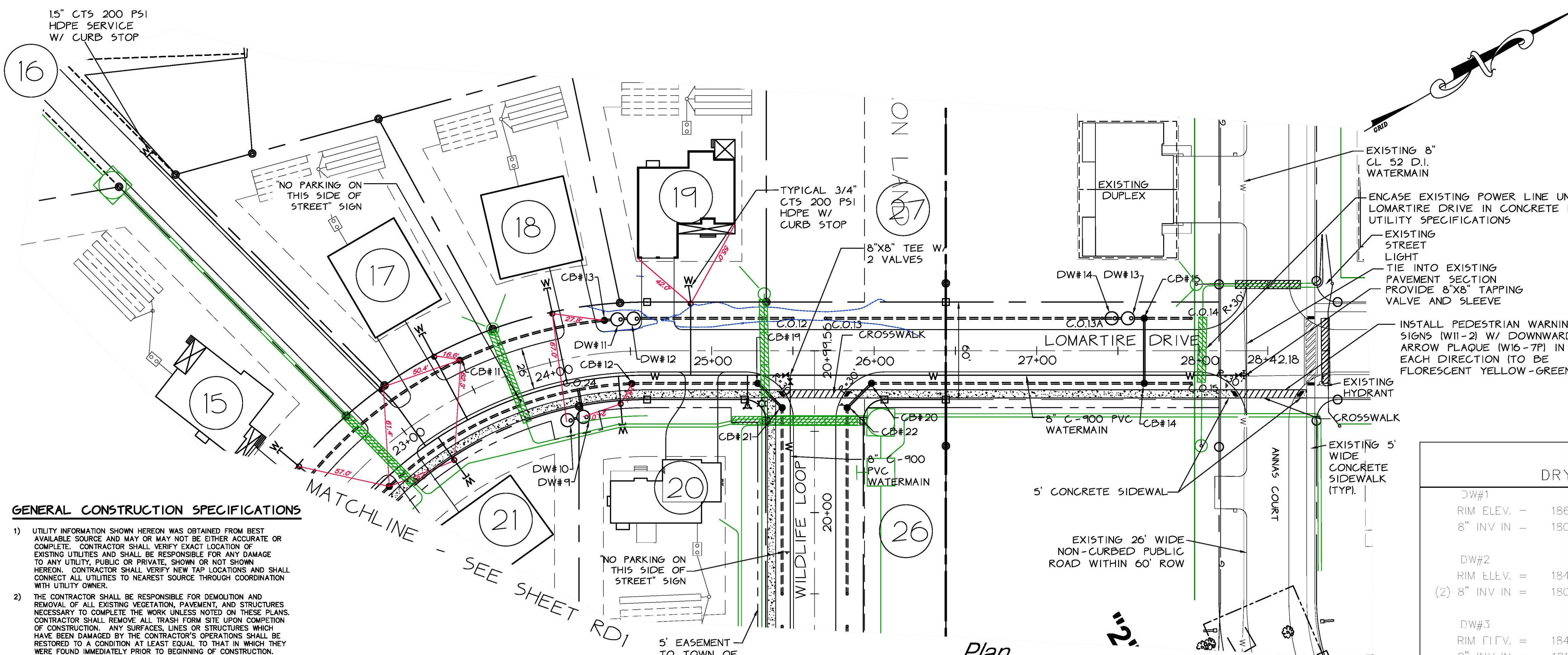
HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 4'



THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.

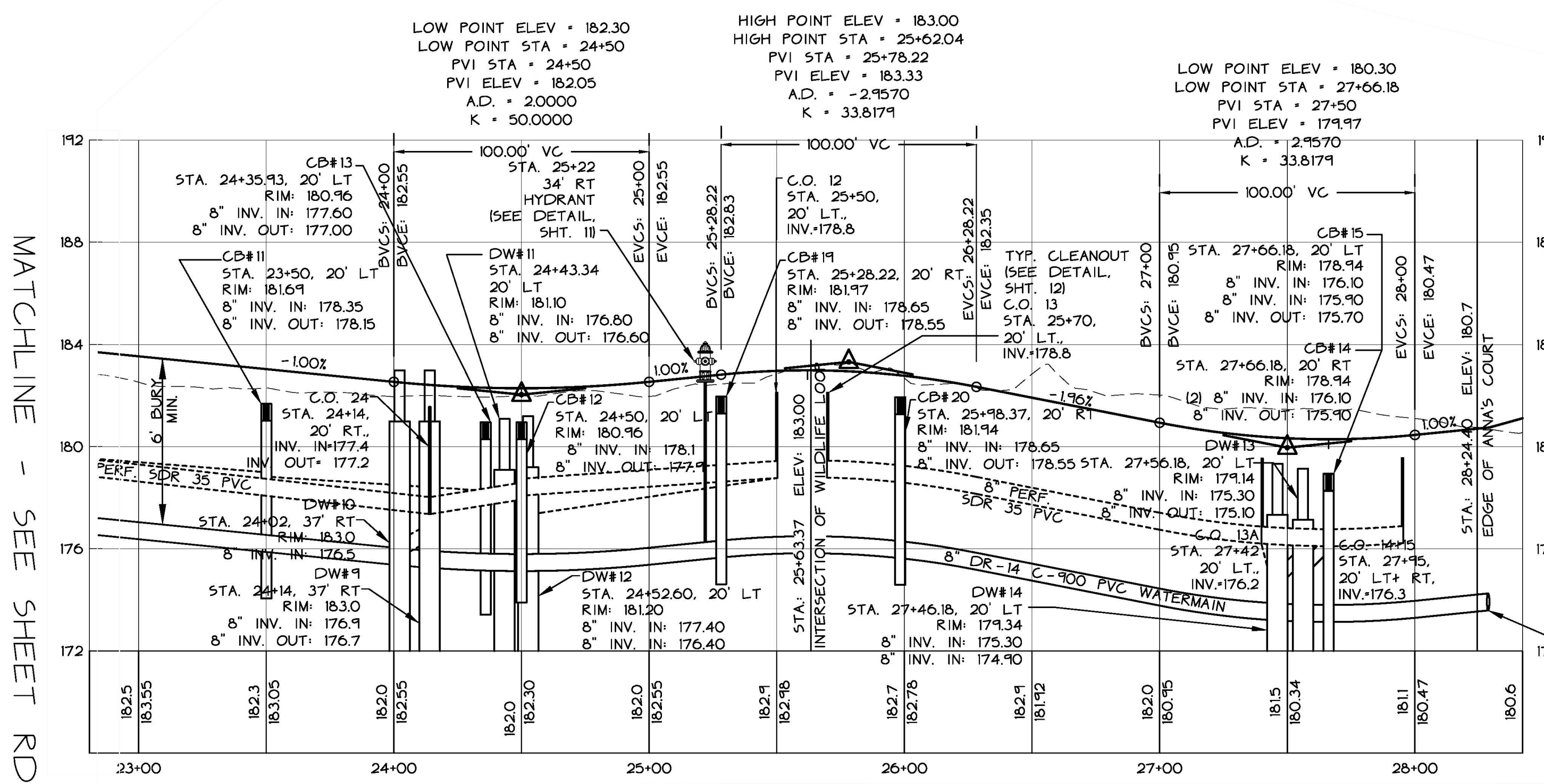


DATE SURVEY OBCA	REVISION <input type="checkbox"/> RECORD DRAWING <input checked="" type="checkbox"/> FINAL	<input type="checkbox"/> PRELIMINARY <input type="checkbox"/> SKETCH/CONCEPT	BY 10/7/19
DESIGN OBCA	O'LEARY-BURKE CIVIL ASSOCIATES, PLC <small>13 CORPORATE DRIVE ESSEX, VT 05432 PHONE: 878-9880 FAX: 878-9889 E-MAIL: ocbca@olearyburke.com</small>		LOMARTIRE FARMS A 28 LOT, 50 UNIT P.R.D. 634 MALLETT'S BAY AVE., COLCHESTER, VT JOB# 2016-53 FILE 2016-53 -S18 PLAN SHEET # RD1
DRAWN D.H.	PLAN & PROFILE LOMARTIRE DRIVE (1 OF 2) STA. 10+00 - 23+00		
CHECKED DWB	SCALE H: 1"=40' V: 1"=4'		
RECORD DWG 10/7/19			

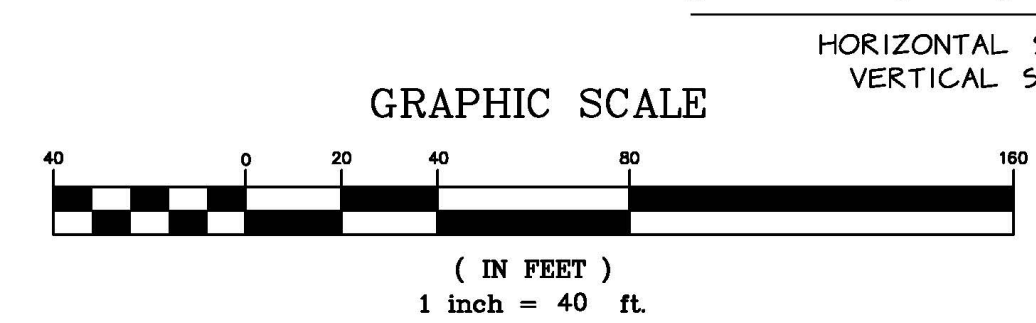


GENERAL CONSTRUCTION SPECIFICATIONS

- UTILITY INFORMATION SHOWN HEREON WAS OBTAINED FROM BEST AVAILABLE SOURCE AND MAY OR MAY NOT BE EITHER ACCURATE OR COMPLETE. CONTRACTOR SHALL VERIFY EXACT LOCATION OF EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY, PUBLIC OR PRIVATE, SHOWN OR NOT SHOWN HEREON. CONTRACTOR SHALL VERIFY NEW TAP LOCATIONS AND SHALL CONNECT ALL UTILITIES TO NEAREST SOURCE THROUGH COORDINATION WITH UTILITY OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL EXISTING VEGETATION, PAVEMENT, AND STRUCTURES NECESSARY TO COMPLETE THE WORK UNLESS NOTED ON THESE PLANS. CONTRACTOR SHALL REMOVE ALL TRASH FROM SITE UPON COMPLETION OF CONSTRUCTION. ANY SURFACES, LINES OR STRUCTURES WHICH HAVE BEEN DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO A CONDITION AT LEAST EQUAL TO THAT IN WHICH THEY WERE FOUND IMMEDIATELY PRIOR TO BEGINNING OF CONSTRUCTION.
- SEE OTHER DETAIL SHEETS OF THESE PLANS FOR ADDITIONAL DETAILS, REQUIREMENTS AND SPECIFICATIONS.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2011, OR MOST RECENT, VERMONT AGENCY OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE TOWN PUBLIC WORKS SPECIFICATIONS, AND THESE PLANS.
- NEW PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH NOTE #4 ABOVE. ALL EXISTING PAVEMENT MARKINGS CONFLICTING WITH THE NEW IMPROVEMENTS SHALL BE REMOVED BY GRINDING OR BURNING.
- A MINIMUM OF ONE-WAY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES. CONTINUOUS TWO-WAY TRAFFIC WILL BE REQUIRED AT NIGHT, PEAK-HOURS, AND WHENEVER POSSIBLE DURING ACTUAL CONSTRUCTION ACTIVITIES. IF DEEMED NECESSARY BY THE OWNER, MUNICIPALITY OR ENGINEER, A UNIFORMED TRAFFIC CONTROL OFFICER SHALL DIRECT TRAFFIC DURING PEAK HOURS. TEMPORARY CONSTRUCTION SIGNS AND TRAFFIC CONTROL SIGNS SHALL BE ERCTED BY THE CONTRACTOR IN ACCORDANCE WITH STATE AND TOWN STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE AT HIS OWN EXPENSE FOR ENSURING THAT THE DUST CREATED AS A RESULT OF CONSTRUCTION DOES NOT CREATE A NUISANCE OR SAFETY HAZARD. WHERE AND WHEN DEEMED NECESSARY, THE CONTRACTOR WILL BE REQUIRED TO WET SECTIONS OF THE CONSTRUCTION AREA WITH WATER, APPLY CALCIUM CHLORIDE, OR SWEEP THE ROADWAY WITH A POWER BROOM FOR DUST CONTROL.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER 24 HOURS IN ADVANCE OF STARTING ANY WORK, CUTTING PAVEMENT, BEGINNING THE INSTALLATION OF ANY UTILITIES, BRINGING IN ANY NEW GRAVEL OR STONE FOR THE NEW BASE, PAVING, ALL TESTING, AND FINAL INSPECTION, IN ORDER TO ASSURE COMPLIANCE WITH THE PLANS.
- PRIOR TO BEGINNING CONSTRUCTION, ALL MATERIALS SHALL BE APPROVED BY THE ENGINEER.
- ALL FILL SHALL BE PLACED IN 12 INCH LIFTS.
- THE HAYBALE DAMS, SILT FENCES, AND DITCHES SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR AFTER EVERY RAINFALL OR AS ORDERED BY THE ENGINEER UNTIL ALL DISTURBED AREAS HAVE BEEN PAVED OR GRASSSED AND APPROVED BY THE ENGINEER. THE MAINTENANCE OF THE EROSION CONTROL DEVICES WILL INCLUDE THE REMOVAL OF ANY ACCUMULATED SEDIMENTATION.
- THIS DESIGN MUST BE INSPECTED BY O'LEARY-BURKE CIVIL ASSOCIATES, P.C., ESSEX JUNCTION, VERMONT. TO ENSURE COMPLIANCE WITH THESE PLANS, O'LEARY-BURKE WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS THAT ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND THE DESIGN INTENT THAT THE PLANS CONVEY, AND FROM FAILURE TO HAVE BEEN NOTIFIED BY THE CONTRACTOR TO INSPECT THE WORKS AND TESTS IN PROGRESS.
- ALL SLOPES, DITCHES AND DISTURBED AREAS SHALL BE GRADED SMOOTH, CLEAN AND FREE OF POCKETS WITH SUFFICIENT SLOPE TO STOPPING OF TRAFFIC ON ADJACENT PUBLIC ROADWAY SHALL NOT BE PERMITTED WITHOUT NECESSARY TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH MUTCD. DELIVERIES AND HAULING OPERATIONS SHALL BE COORDINATED NOT TO OCCUR DURING TIMES OF PEAK TRAFFIC VOLUMES (7:30AM - 8:30AM & 4:30PM - 5:30PM). CONSTRUCTION TRAFFIC IS TO BE LIMITED TO NEW ACCESS OFF OF MALLETT'S BAY AVE. TRUCKS ARE NOT TO USE THOMAS DR FOR ACCESS FROM BLAKELY RD.
- NO OPEN CUTS WILL BE PERMITTED. ALL NECESSARY ROADWAY CROSSINGS OF MALLETT'S BAY AVE SHALL BE PERFORMED BY DRY BORING AND JACKING, DIRECTIONAL DRILLING, OR OTHER SUB-SURFACE METHODS.



LOMARTIRE DRIVE PROFILE
STA. 23+00 - 28+42.18



DW#	RIM ELEV.	8" INV IN	8" INV OUT
DW#1	186.00	180.80	180.80
DW#2	184.60	180.80	180.80
DW#3	184.90	181.00	180.80
DW#4	185.00	181.00	180.60
DW#5	183.06	179.20	179.00
DW#6	182.96	179.20	178.80
DW#7	183.15	179.10	178.90
DW#8	183.25	179.30	178.70
DW#9	183.00	179.30	178.70
DW#10	183.00	176.50	176.50
DW#11	181.10	176.80	176.60
DW#12	181.20	177.40	176.40
DW#13	179.14	175.30	175.10
DW#14	179.34	175.30	174.90
DW#15	181.50	177.70	177.50
DW#16	181.50	177.70	177.50
DW#17	181.60	177.70	177.30

CB #	RIM ELEV.	8" INV IN	8" INV OUT
CB #1	187.40	181.30	181.10
CB #2	187.40	181.30	181.10
CB #3	184.80	181.60	181.20
CB #3A	185.95	182.65	182.55
CB #4	184.80	182.10	181.90
CB #5	187.86	182.00	181.80
CB #6	182.86	180.00	179.80
CB #7	182.84	181.90	181.70
CB #8	183.80	181.00	180.80
CB #9	183.19	179.85	179.65
CB #10	182.50	179.16	178.96
CB #11	181.69	178.35	178.15
CB #12	180.96	178.10	177.90
CB #13	180.96	177.60	177.00
CB #14	178.94	176.10	175.90
CB #15	178.94	176.10	175.90
CB #16	181.50	177.90	177.90
CB #17	181.50	178.50	178.30
CB #18	183.13	179.80	179.60
CB #19	181.97	178.65	178.55
CB #20	181.94	178.65	178.55
CB #21	182.06	178.75	178.75
CB #22	182.06	178.75	178.65



DATE	REVISION
SURVEY	OBCA
DESIGN	OBCA
DRAWN	DJH
CHECKED	DWB

RECORD DRAWING
 FINAL
 PRELIMINARY
 SKETCH/CONCEPT

O'LEARY-BURKE CIVIL ASSOCIATES, P.C.

19 CORPORATE DRIVE
ESSEX, VT
PHONE: 878-9890
FAX: 878-9890
E-MAIL: ocbca@olearyburke.com

LOMARTIRE FARMS
A 28 LOT, 50 UNIT P.R.D.
634 MALLETT'S BAY AVE., COLCHESTER, VT

PLAN & PROFILE
LOMARTIRE DRIVE (2 OF 2)
Sta. 23+00 - 28+42.18

DATE: 10/7/19
JOB#: 2016-53
FILE: 2016-53-S18
PLAN SHEET # RD2

THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.

RECORD DWG 10/7/19

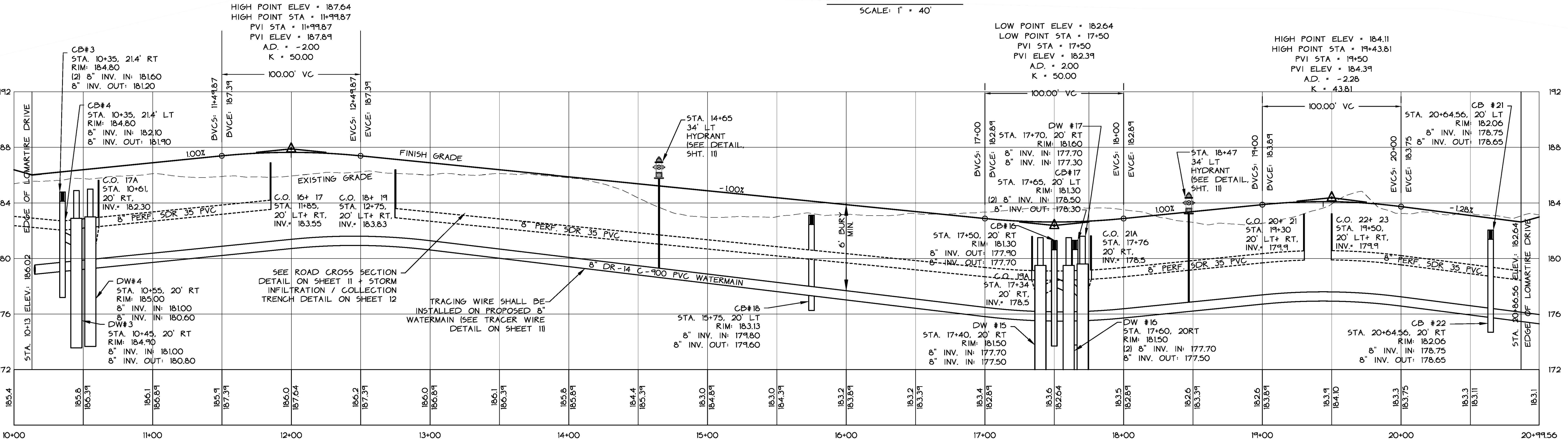
Legend

- PROJECT BOUNDARY
- PROPERTY LINE
- SIDELINE OF EASEMENT
- EDGE OF WOODED AREA
- STREET LIGHT
- INFILTRATION TRENCH W/ CATCH BASIN
- DRYWELL
- WATERLINE W/ GATE VALVE
- PROPOSED GAS
- PROPOSED ELECTRIC
- REDBAR PROPERTY CORNER
- CONCRETE MONUMENT



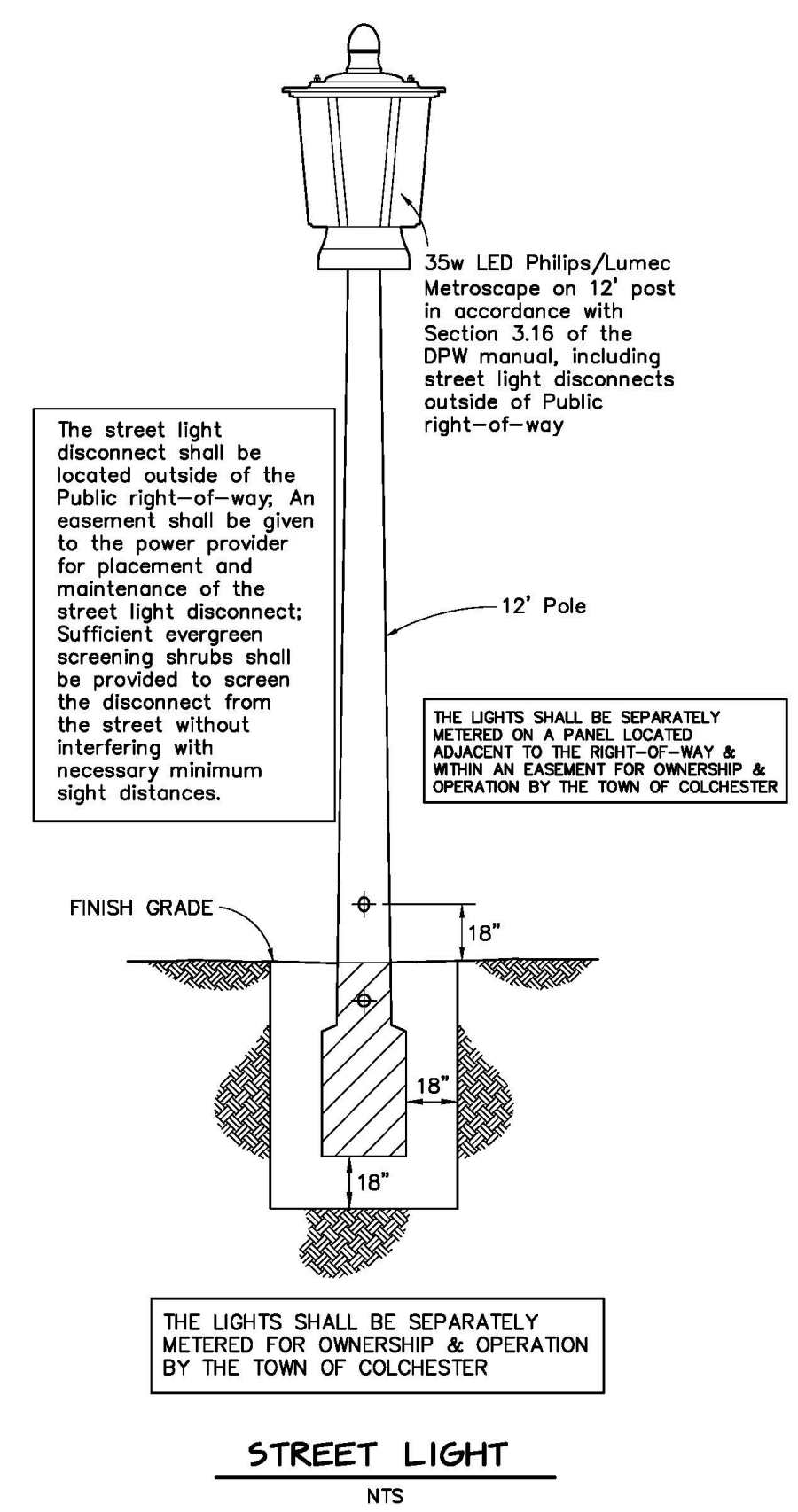
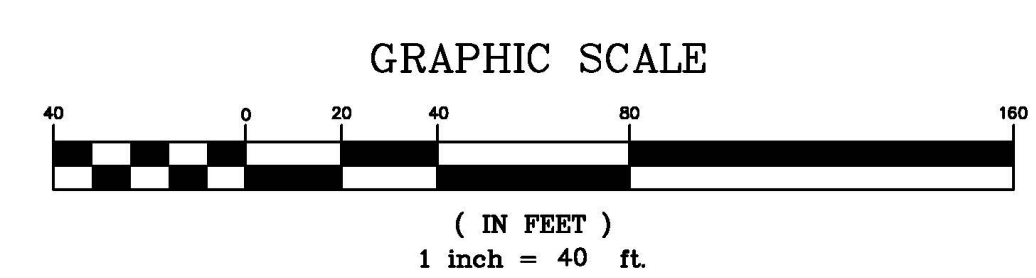
Plan

SCALE: 1" = 40'



Profile - Wildlife Loop

HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 4'



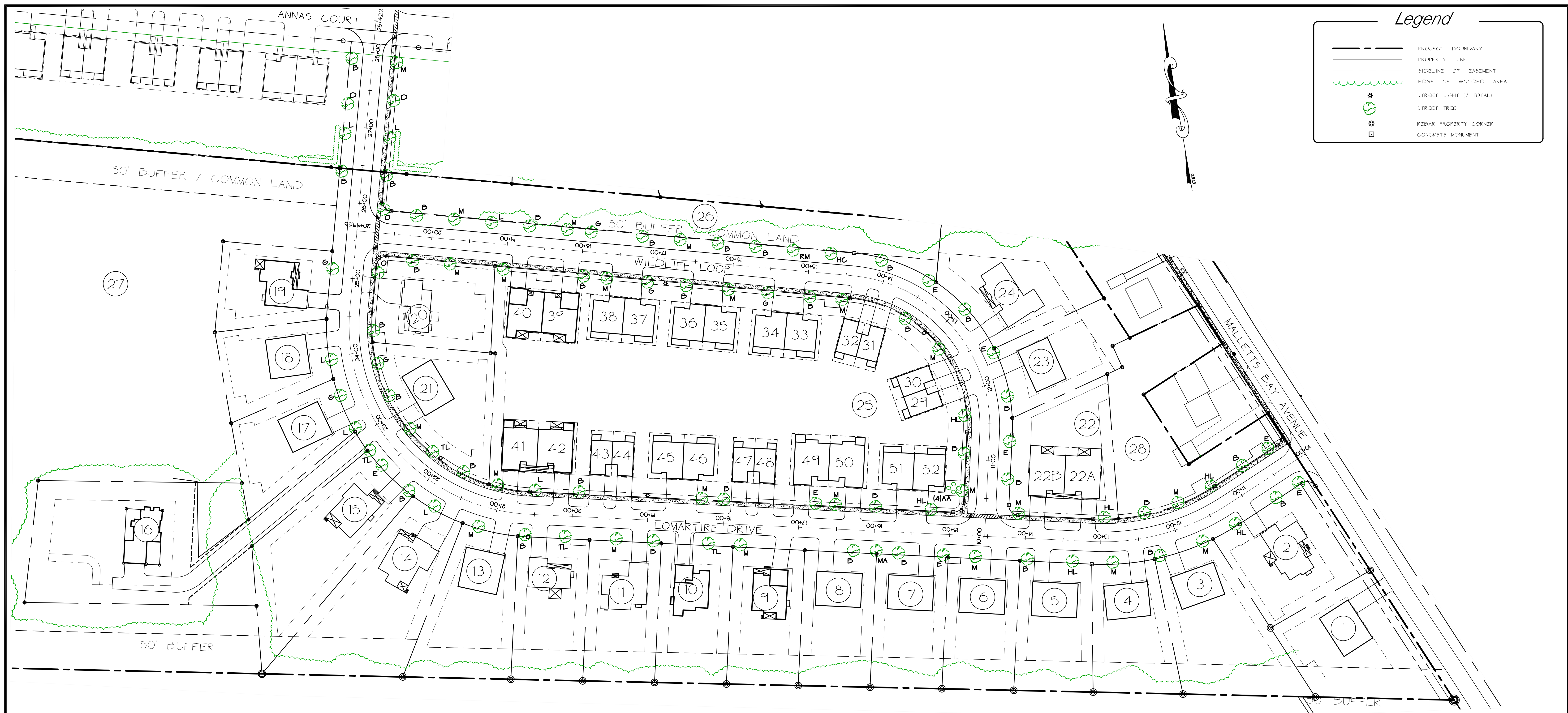
DATE	REVISION
SURVEY	OBCA
DESIGN	OBCA
DRAWN	D.H.
CHECKED	DWB
SCALE	H: 1"=40' V: 1"=4'

DATE	BY
10/7/19	
2016-53	
FILE 2016-53	
-518	
PLAN SHEET #	RD3

LOMARTIRE FARMS
 A 28 LOT, 50 UNIT P.R.D.
 634 MALLETT'S BAY AVE., COLCHESTER, VT
PLAN & PROFILE
 WILDLIFE LOOP
 Sta. 10+00 - 20+99.56

THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.

RECORD DWG 10/7/19

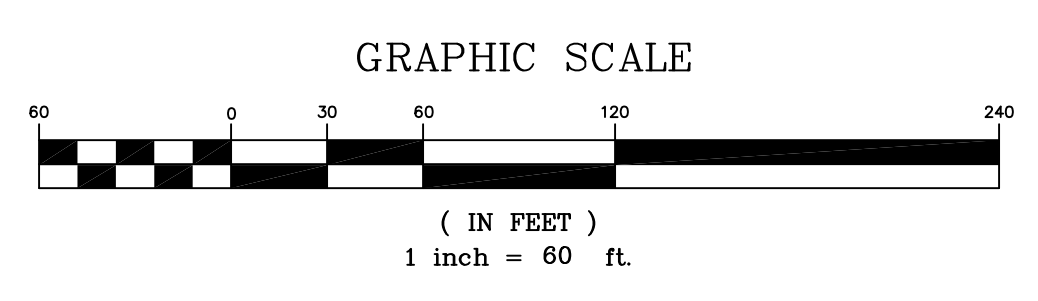


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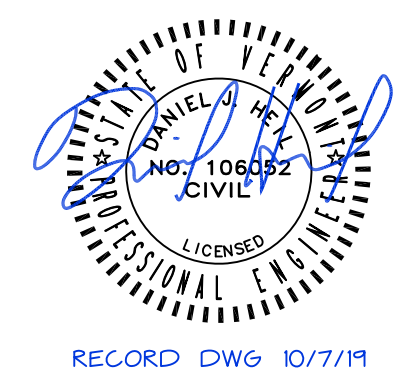
	PROJECT BOUNDARY
	PROPERTY LINE
	SIDELINE OF EASEMENT
	EDGE OF WOODED AREA
	STREET LIGHT (7 TOTAL)
	STREET TREE
	REDAR PROPERTY CORNER
	CONCRETE MONUMENT

Landscape Schedule

SYMBOL	COMMON NAME
E	Elm
B	River Birch
HL	Honeylocust (Shademaster)
HC	Horsechestnut
M	Autumn Blaze Maple
RM	Red Maple
G	Ginkgo
L	Little Leaf Linden
O	Red Oak
TL	Tree Lilac
MA	Mountain Ash
AA	Dark American Arborvitae



THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.

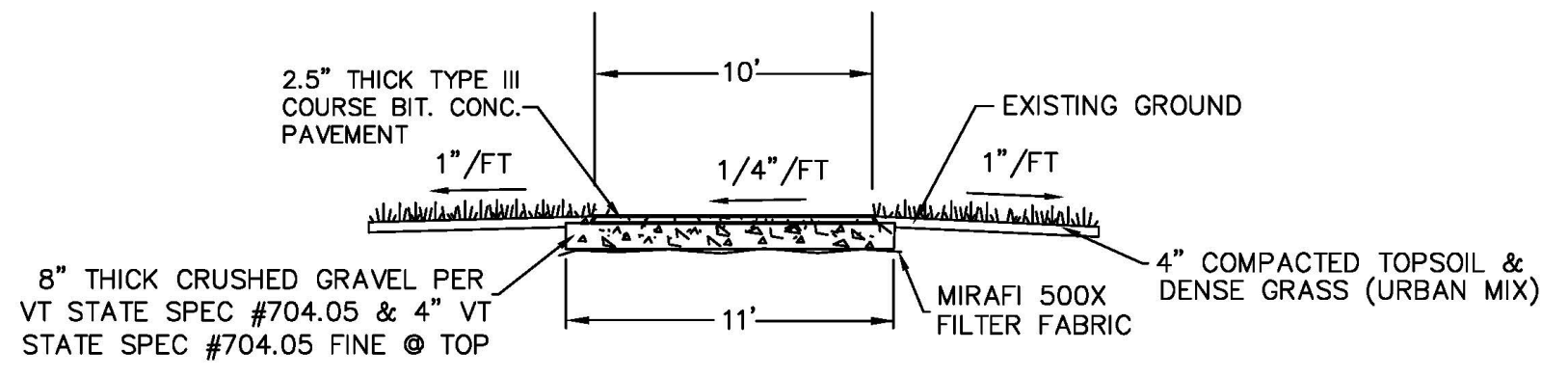


DATE SURVEY OBCA	REVISION <input checked="" type="checkbox"/> RECORD DRAWING <input type="checkbox"/> PRELIMINARY <input checked="" type="checkbox"/> FINAL <input type="checkbox"/> SKETCH/CONCEPT	DATE 10/7/19
DESIGN OBCA		JOB# 2016-53
DRAWN D.H./GRT	O'LEARY-BURKE CIVIL ASSOCIATES, PLC	FILE 2016-53 -RD
CHECKED DWB	13 CORPORATE DRIVE ESSEX, CT, VT PHONE: 878-9990 FAX: 878-9993 E-MAIL: obca@o'learyburke.com	PLAN SHEET # RD4
SCALE 1"=60'	LOMARTIRE FARMS A 28 LOT, 50 UNIT P.R.D. 634 MALLETT'S BAY AVE., COLCHESTER, VT	
	STREET TREE RECORD DRAWING	

RECORD DWG 10/7/19

Legend

	PROJECT BOUNDARY
	PROPERTY LINE
	SIDELINE OF EASEMENT
	EDGE OF WOODED AREA
	STREET LIGHT
	INFILTRATION TRENCH W/ CATCH BASIN
	DRYWELL
	WATERLINE W/ GATE VALVE
	PROPOSED GAS
	PROPOSED ELECTRIC
	REDAR PROPERTY CORNER
	CONCRETE MONUMENT

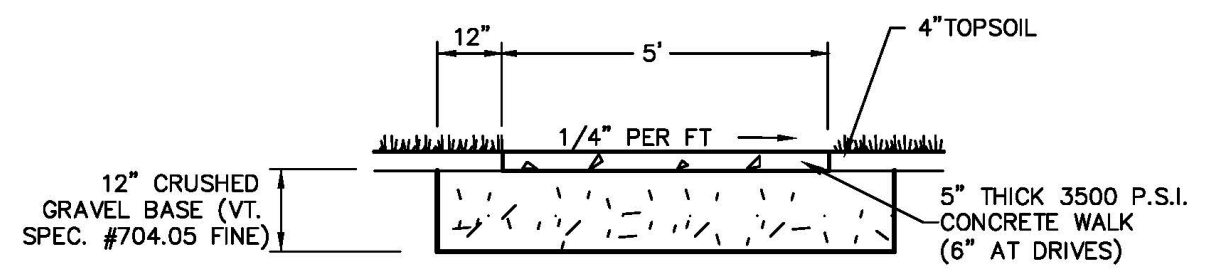


MULTI-USE PATH
NTS

NOTES:
1) VERTICAL CLEARANCE 8' MIN. FROM HIGHEST SECTION OF PATH.
2) ANY TREE ROOTS ENCOUNTERED WITHIN THE EXCAVATION LIMITS SHALL BE SAWCUT AND REMOVED.

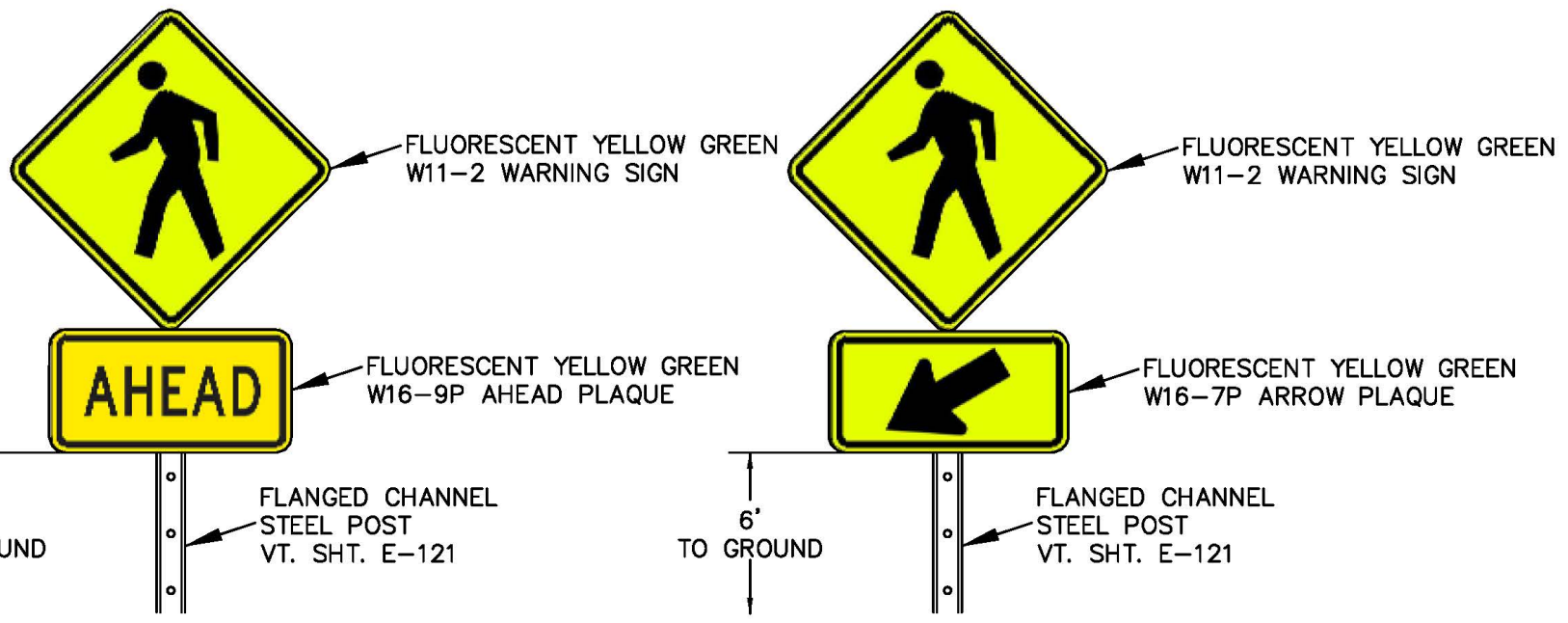
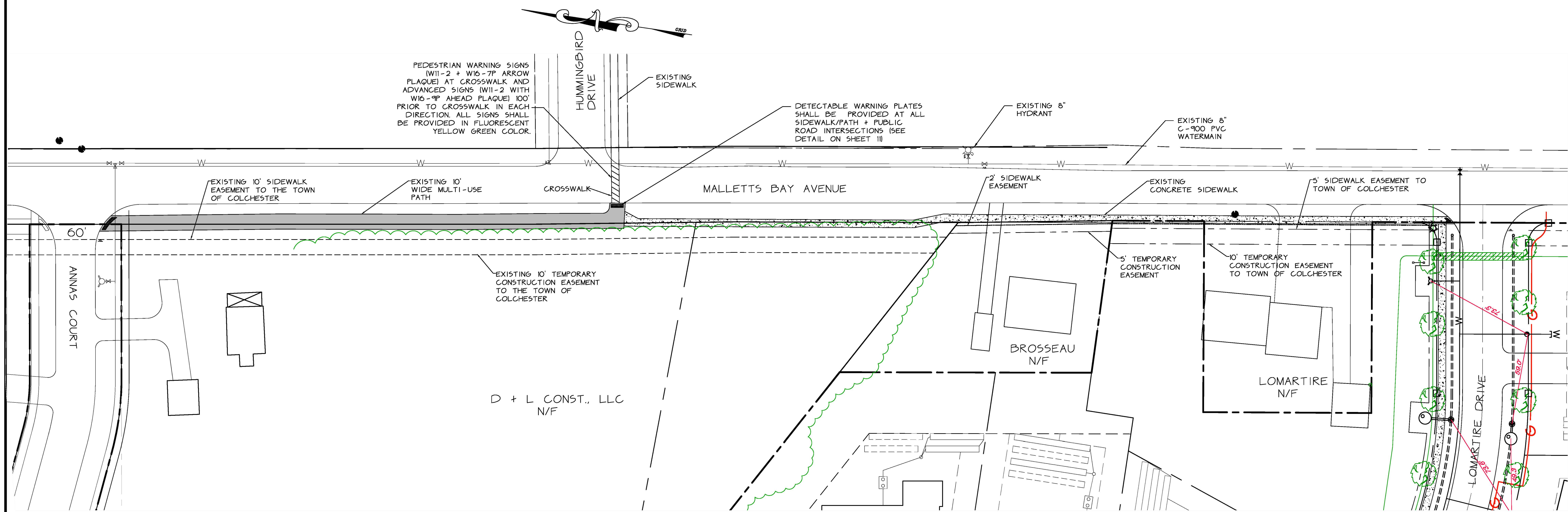
GRADATION REQUIREMENTS

MATERIAL	SIZE	PERCENT (%)
GRAVEL FOR SUBBASE - VT SPEC 704.04	#4	20-60 %
	#100	0-12 %
	#200	0-8 %
CRUSHED GRAVEL SURFACE COURSE VT SPEC 704.05 FINE	2"	100 %
	1 1/2"	90-100 %
	#4	30-60 %
	#100	0-12 %
	#200	0-6 %

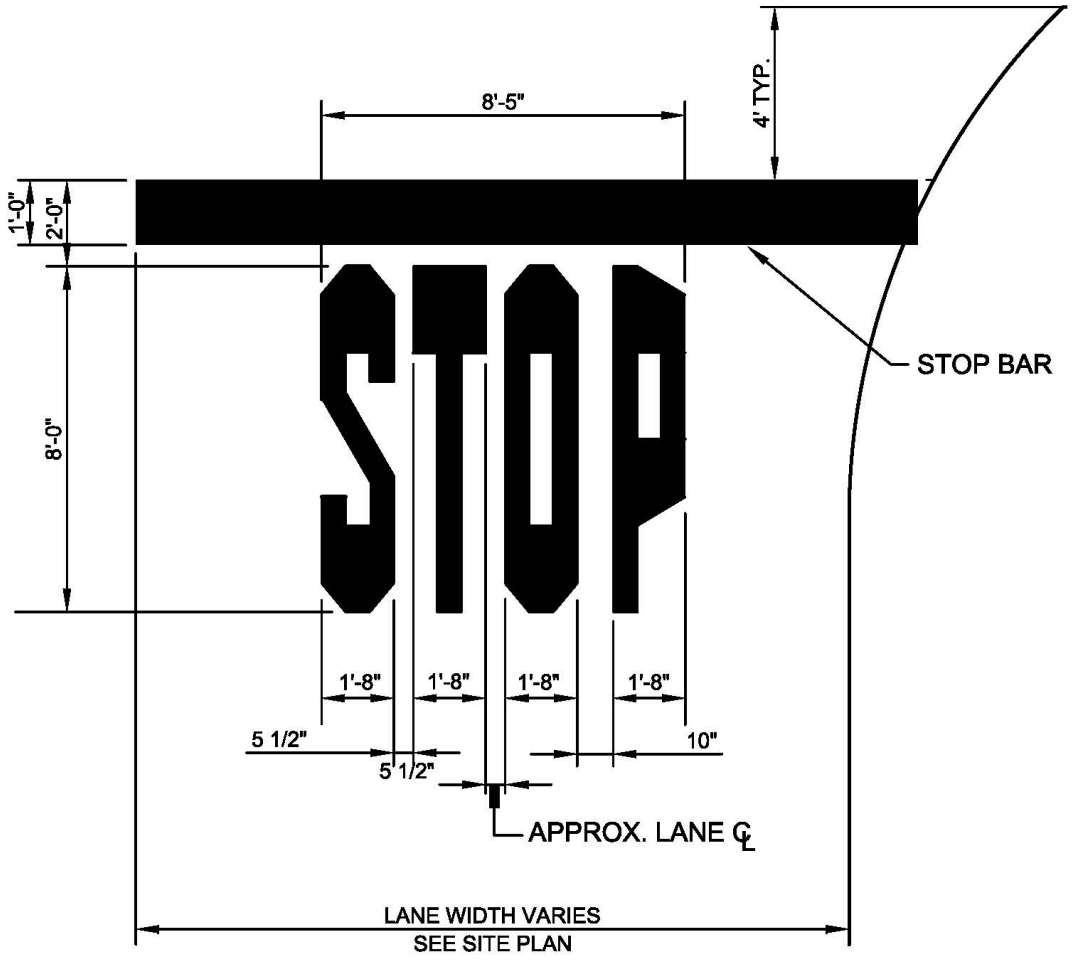
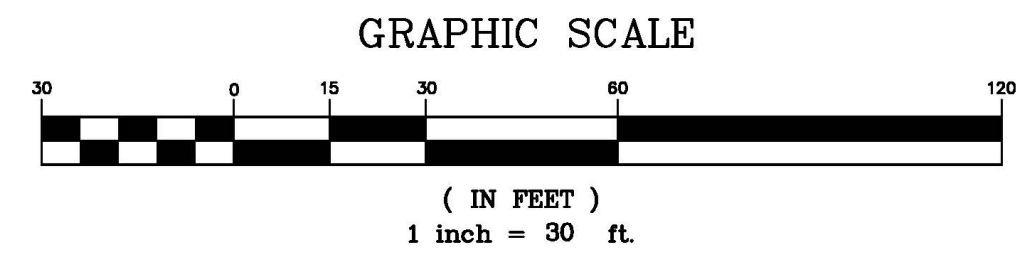


- SIDEWALK SHALL BE SCORED TO A DEPTH OF ONE INCH (1") EVERY FIVE FEET (5').
- CURBING EXPANSION JOINTS SHALL BE CONSTRUCTED EVERY 20' AND SHALL BE CONSTRUCTED OF MATERIAL CONFORMING TO AASHTO DESIGNATION M-153 (1/2" SPONGE, RUBBER OR CORK.)
- ALL EXPOSED SURFACES TO RECEIVE 2 COATS OF AN ANTI-SPALLING COMPOUND.
- CONCRETE SHALL BE 6" THICK AT DRIVEWAY CROSSINGS
- SIDEWALK SHALL SLOPE 1/4" PER 1' TOWARD POSITIVE DRAINAGE

TYPICAL SIDEWALK SECTION



PEDESTRIAN WARNING SIGNAGE
N.T.S.



TYPICAL PAVEMENT MARKINGS
N.T.S.

THE CONTRACTOR SHALL NOTIFY "DIGSAFE" AT 1-888-DIG-SAFE PRIOR TO ANY EXCAVATION.



O'LEARY-BURKE CIVIL ASSOCIATES, PLC
13 CORPORATE DRIVE
ESSEX, VT 05730
PHONE: 878-8880
FAX: 878-9889
E-MAIL: ocbas@olearyburke.com

LOMARTIRE FARMS
A 28 LOT, 50 UNIT P.R.D.
634 MALLETTS BAY AVE., COLCHESTER, VT
MALLETTS BAY AVE
SIDEWALK AND MULTI-USE PATH PLAN

DATE: 10/7/19
JOB#: 2016-53
FILE: 2016-53-S17
PLAN SHEET # **RD5**

Alley, Kerry

From: Warner Rackley <WRackley@colchestervt.gov>
Sent: Wednesday, September 25, 2019 3:59 PM
To: Alley, Kerry
Subject: Discontinuance of Class 4 TH 32
Attachments: doc069973.pdf; doc069974.pdf

Kerry,

Attached are copies of docs from the public hearing held last night for discontinuance for one of the three remaining unconstructed Class 4s. Let me know if you have questions or need additional info.

Thanks,
Warner

We have eliminated our post office box, for US mail and package deliveries please use the address listed below.



Warner C. Rackley, PE
Asst. Public Works Dir./Town Engineer
Department of Public Works

Town of Colchester
781 Blakely Rd.
Colchester, Vermont 05446
P: 802.264.5635 | F: 802.264.5503

colchestervt.gov

Notice – Under Vermont's Public Records Act, all e-mail, e-mail attachments as well as paper copies of documents received or prepared for use in matters concerning Town business, concerning a Town official or staff, or containing information relating to town business are likely to be regarded as public records which may be inspected by any person upon request, unless otherwise made confidential by law. If you have received this message in error, please notify us immediately by return email. Thank you for your cooperation.

TOWN OF COLCHESTER, VERMONT
DECISION AND ORDER OF THE SELECTBOARD
UPON REQUEST FOR DISCONTINUANCE

doc069973.pdf

This matter came on for hearing before the Colchester Town Selectboard on its own motion to consider discontinuance of the Class IV untraveled portion of Town Highway 32, River Road between Windemere Way and the corner of Red Oak Drive and River Road in its entirety, from its intersection with Windemere Drive to its intersection with the corner of Red Oak Drive and River Road.

Notice of the discontinuance hearing was published in the Colchester Sun on September 5, 2019. Notice was also sent by certified mail to neighboring parties on August 26, 2019, including: Delco Properties, LLC, R. James Howrigan, Jr., Kathy L. Howrigan, Benjamin M. Collette, and Christina A. Collette.

On September 24, 2019, the Selectboard conducted a site visit and examined the premises of the Class IV portion of Town Highway 32, River Road, followed by a public hearing at the Colchester Town Office. Present at the site visit and at the public hearing were the Selectboard, Aaron Frank, Town Manager, Geoff Urbanik, Deputy Town Manager and Sarah Hadd, Director of Planning and Zoning. Property owners per attached list also attended.

Based on the evidence presented at the site visit, the testimony at the hearing and pursuant to 19 V.S.A. § 710, the Selectboard hereby determines that the public good, necessity and convenience requires that the above-referenced Class IV portion of Town Highway 32 be discontinued. The road is no longer used and interferes with the planned use and zoning approval.

Any person interested who objects to this decision may appeal pursuant to 19 V.S.A. § 740 and Rule 74 of the Vermont Rules of Civil Procedure to the Vermont Superior Court, Chittenden Unit, Civil Division within 30 days of the recording of this order.

Dated at Colchester, Vermont
this 24th day of September, 2019.

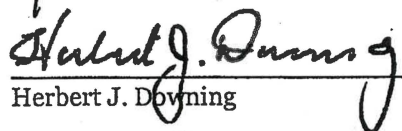
COLCHESTER SELECTBOARD



Jeffrey D. Bartley, Chair



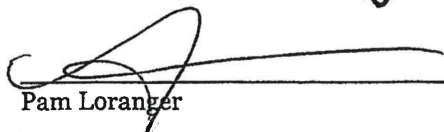
Thomas Mulcahy, Vice-Chair



Herbert J. Downing



Jacki Murphy



Pam Loranger

**NOTICE OF PUBLIC HEARING TO CONSIDER THE
DISCONTINUANCE OF AN UNTRAVELED CLASS IV PORTION OF
TOWN HIGHWAY 32, RIVER ROAD**

Interested persons and persons owning or interested in lands through which an untraveled Class IV portion of Town Highway 32, River Road between its intersection with Windemere Way and its intersection with the corner of Red Oak Drive and River Road (the "Road") may pass or abut are hereby warned of a public hearing to be held by the Selectboard of the Town of Colchester to consider the discontinuance of the aforementioned portion of the Road in its entirety. Pursuant to 19 V.S.A. § 709, the proceedings will commence with an examination of the premises, convening at the intersection of Red Oak Road and River Road promptly at 5:45 p.m. No testimony shall be accepted at the site visit. Immediately following the examination of the premises, the Selectboard of the Town of Colchester will meet at the Colchester Town Office to receive testimony from any interested parties. The Selectboard shall issue a written decision within 60 days of the hearing.

Date of Hearing: September 24, 2019

Time of Hearing: 6:30 p.m.

Location of Hearing: Site visit at the intersection of Red Oak Road and River Road at 5:45 pm; immediately followed by public hearing at the Colchester Town Office, 781 Blakely Road, Colchester

Description of Highway: The entirety of the Class IV portion of Town Highway 32, River Road is to be discontinued, commencing at its intersection with Windemere Way and terminating at its intersection with the corner of Red Oak Drive and River Road.

CORNER LIST

NOTE: (D.O.) indicates diameter of applicable monument.

CORNER 1: Unmonumented point in the approximate edge of the Winoski River.

CORNER 2: 1"(D.O.) metal pipe recovered 5" below grade.

CORNER 3: 4" X 4" concrete bound recovered 4" above grade.

CORNER 4: 4" X 4" concrete bound recovered 5" above grade.

CORNER 5: 5/8" rebar TO BE SET

CORNER 6: 5/8" rebar recovered 4" above grade.

CORNER 7: 4" X 4" concrete bound recovered 3" above grade.

CORNER 8: 4" X 4" concrete bound recovered 4" above grade.

CORNER 9: Unmonumented point in the approximate edge of the Winoski River.

CORNER 10: 5/8" rebar recovered flush with grade.

CORNER 11: 4" X 4" concrete bound recovered 2" above grade.

CORNER 12: 4" X 4" concrete bound recovered with a broken top 5" below grade.

CORNER 13: 5/8" rebar recovered disturbed and was not held by this survey.

CORNER 14: 5/8" rebar recovered leaning with a 5° reveal and was found to be situated 28.7" westside of the boundary line.

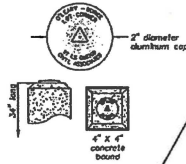
CORNER 15: 4" X 4" concrete bound recovered 6" above grade.

CORNER 16: 4" X 4" concrete bound recovered 9" above grade.

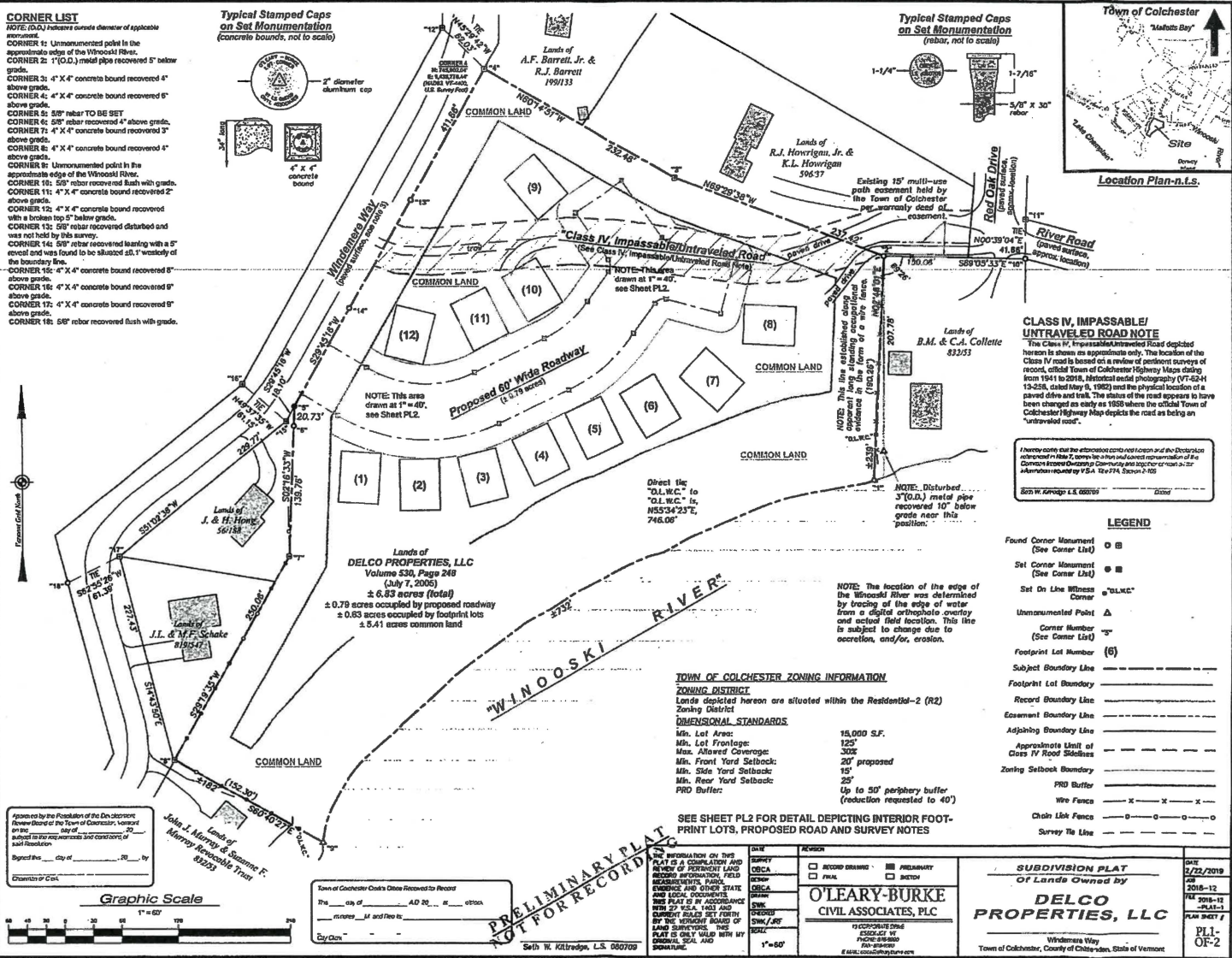
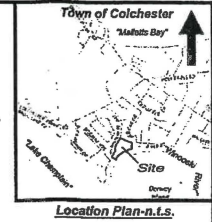
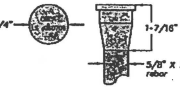
CORNER 17: 4" X 4" concrete bound recovered 9" above grade.

CORNER 18: 5/8" rebar recovered flush with grade.

Typical Stamped Caps on Set Monument (concrete bounds, not to scale)



Typical Stamped Caps on Set Monument (rebar, not to scale)



CLASS IV, IMPASSABLE/ UNTRAVELED ROAD NOTE

The Class IV, Impassable/Untraveled Road depicted hereon is shown as approximate only. The location of the Class IV road is based on a review of historical surveys of record, official Town of Colchester Highway Maps dating from 1941 to 2018, historical aerial photography (VT-62-14 19-25), dated May 8, 1962) and the physical location of a paved drive and trail. The status of the road appears to have been changed as early as 1958 where the official Town of Colchester Highway Maps depict the road as being an "untraveled road".

A nearby note on the attached plat not shown and the Director's reference to the 2018 Vermont Revised Compilation of the Common Law of the State of Vermont and the Vermont Statutes Annotated by the Vermont Law Commission, Volume 1:1-1, Section 2:101.

LEGEND

Found Corner Monument (See Corner List)	○
Set Corner Monument (See Corner List)	●
Set On Line Witness Corner	○
Unmonumented Point (See Corner List)	△
Corner Number	1-12
Footprint Lot Number	(6)
Subject Boundary Line	---
Footprint Lot Boundary	---
Record Boundary Line	---
Easement Boundary Line	---
Adjoining Boundary Line	---
Approximate Limit of Class IV Road Sidelines	---
Zoning Setback Boundary	---
PRO Buffer	---
Wire Fences	X-X-X-X
Chain Link Fences	○-○-○-○
Survey Tie Line	---

TOWN OF COLCHESTER ZONING INFORMATION

ZONING DISTRICT
Lands depicted hereon are situated within the Residential-2 (R2) Zoning District

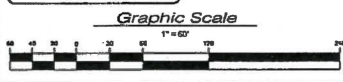
DIMENSIONAL STANDARDS

Min. Lot Area:	18,000 S.F.
Min. Lot Frontage:	125'
Max. Allowed Coverage:	30%
Min. Front Yard Setback:	20' proposed
Min. Side Yard Setback:	15'
Min. Rear Yard Setback:	25'
PRO Buffer:	Up to 50' periphery buffer (reduction requested to 40')

SEE SHEET PL2 FOR DETAIL DEPICTING INTERIOR FOOT-PRINT LOTS, PROPOSED ROAD AND SURVEY NOTES

Approved by the Position of the Director of the State of Vermont on the day of _____, 2018.

Signature _____



Town of Colchester Clerk Office Received for Record

the _____ day of _____ AD 2018 at _____ o'clock

minutes _____ and File to: _____

City Clerk _____

PRELIMINARY PLAT NOT FOR RECORD

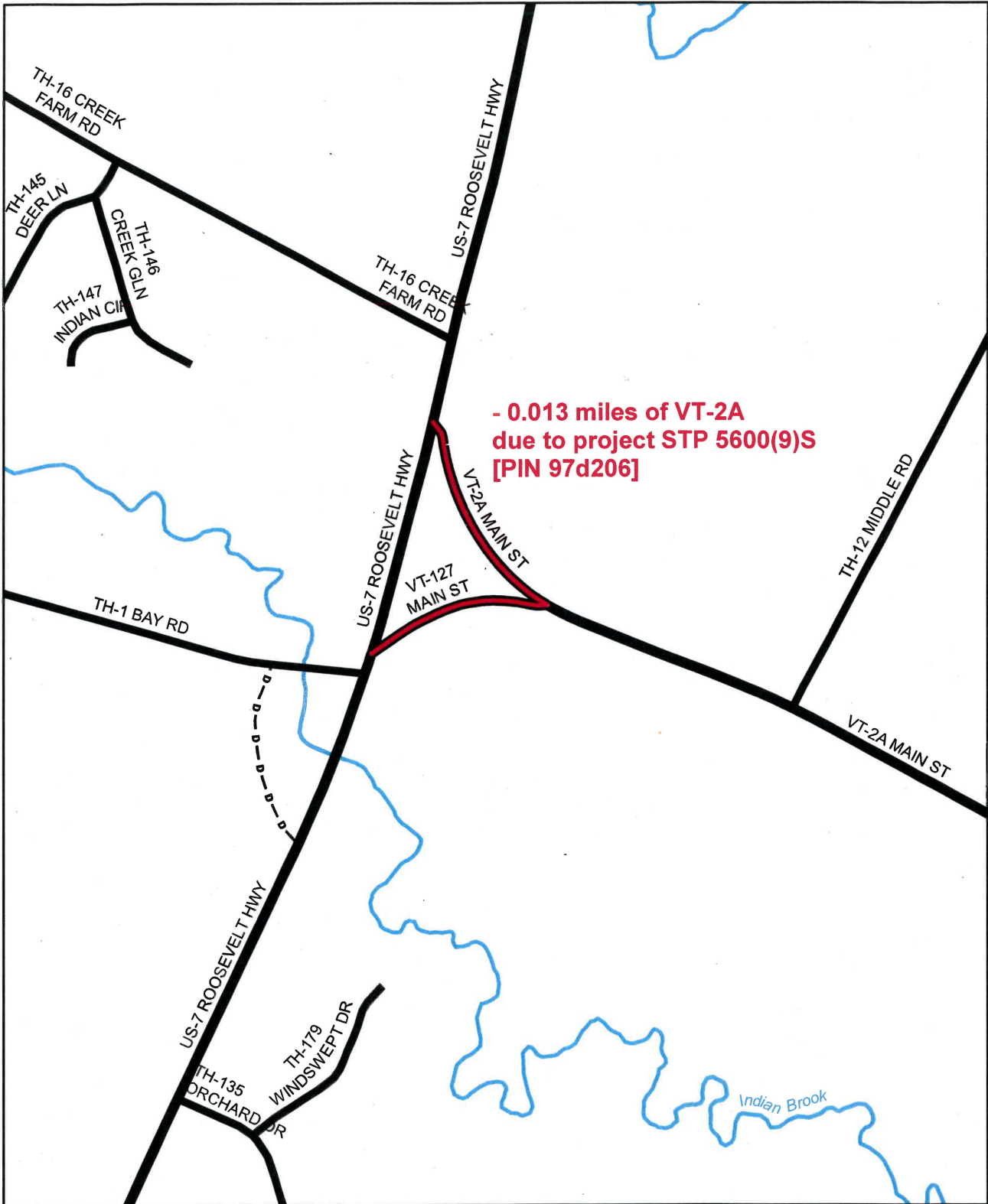
Seth W. Kilbridge, L.S. 066703

DATE	REVISION
02/22/2018	1. RECORD DRAWING
02/22/2018	2. PRELIMINARY
02/22/2018	3. REVISION
02/22/2018	4. REVISION
02/22/2018	5. REVISION
02/22/2018	6. REVISION
02/22/2018	7. REVISION
02/22/2018	8. REVISION
02/22/2018	9. REVISION
02/22/2018	10. REVISION

SUBDIVISION PLAT
Of Lands Owned by
DELCO PROPERTIES, LLC
Winchester Valley
Town of Colchester, County of Chittenden, State of Vermont

DATE: 2/22/2018
PLAT: 2018-12
PLAT SHEET: PL1-OF-2

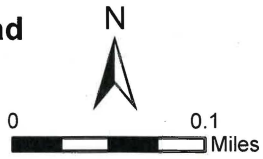
doc 0169974.pdf



- 0.013 miles of VT-2A
 due to project STP 5600(9)S
 [PIN 97d206]

Mileage Certificate Change 2020 - Preload
COLCHESTER
 (CERTCODE: 0405-0)

Mapping Section
 Division of Policy, Planning and Intermodal Development
 Vermont Agency of Transportation -- December 26, 2019



TRAFFIC DATA U.S. ROUTE 7	
2017 ADT	= 13,000
2037 ADT	= 14,600
2037 DHV	= 2000
% D	= 64
% T	= 3
DESIGN SPEED	= 60 Km/h
POSTED SPEED	= 35 MPH
20 YR ESAL'S	= 4,978,000
40 YR. ESAL'S	= 12,124,000

BITUMINOUS CONCRETE PAVEMENT SUPERPAVE MIXTURE DESIGN CRITERIA	
DESIGN LANE DESIGN LIFE ESALS (20 YR)	3,185,920
DESIGN NUMBER OF GYRATIONS	65
PERFORMANCE GRADED ASPHALT BINDER	70-28

STATE OF VERMONT AGENCY OF TRANSPORTATION

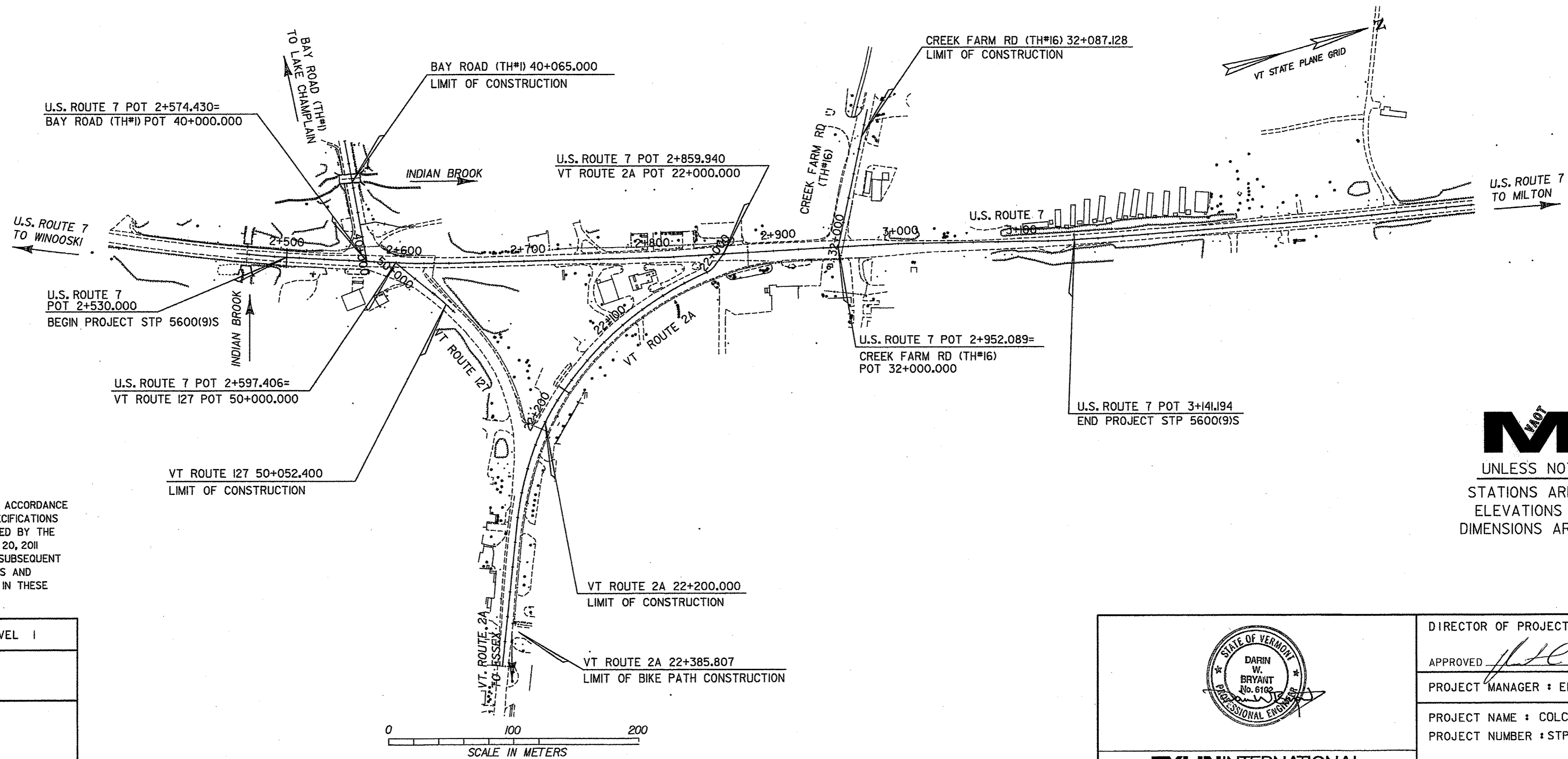
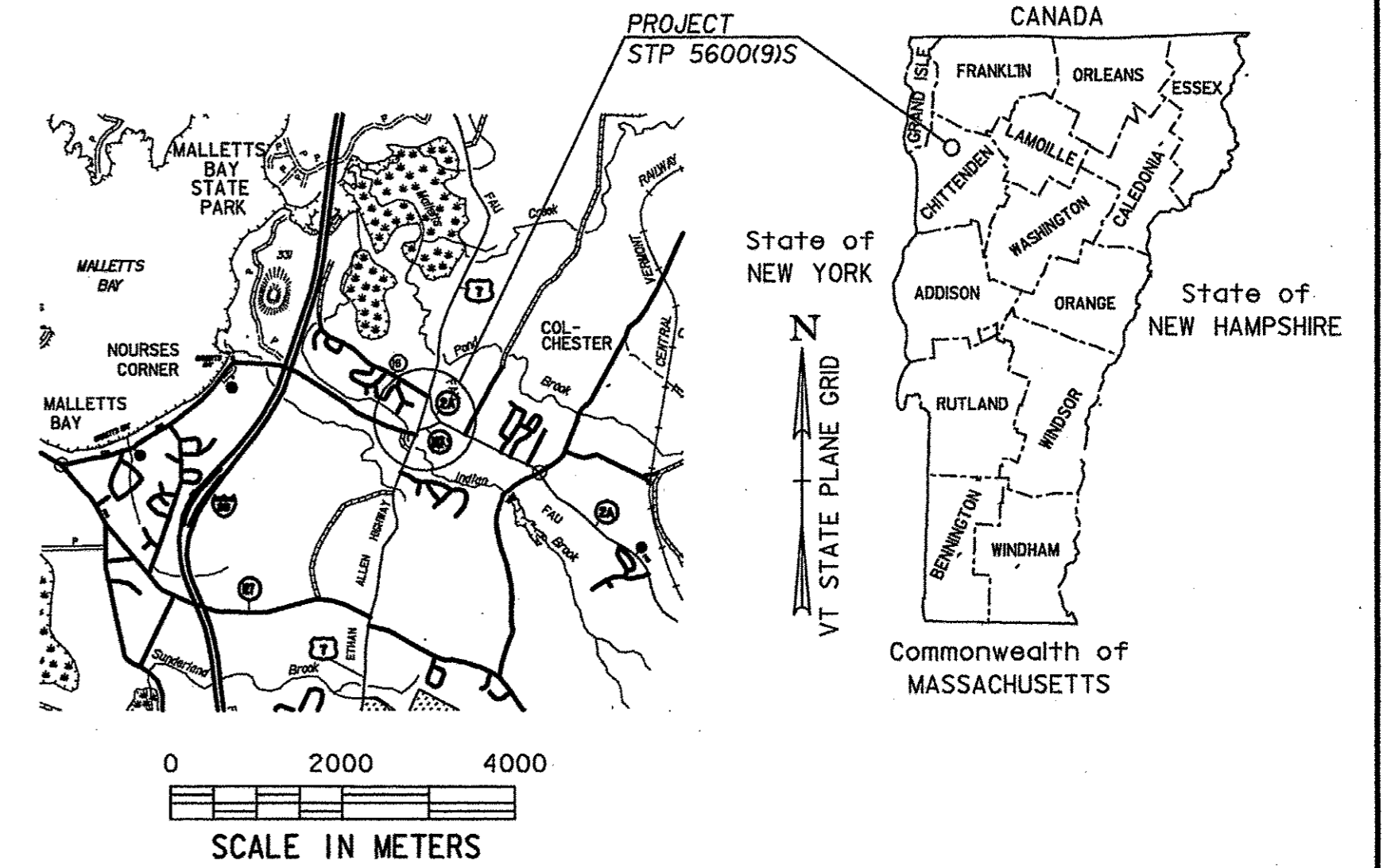


PROPOSED IMPROVEMENT TOWN OF COLCHESTER COUNTY OF CHITTENDEN US ROUTE 7 (PRINCIPAL ARTERIAL) (NHS)

BEGINNING AT A POINT ON U.S. ROUTE 7 APPROXIMATELY 5.446 KM NORTHERLY OF THE WINOOSKI-COLCHESTER TOWN LINE, AND EXTENDING NORTHERLY ALONG U.S. ROUTE 7 FOR A DISTANCE OF 611.9 METERS.

LENGTH OF PROJECT: 611.9 m = 0.611 KM

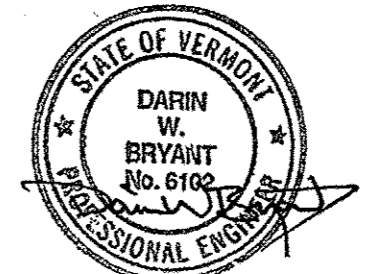
WORK UNDER THIS PROJECT INCLUDES OVERLAY AND WIDENING, GRADING, EROSION CONTROL, DRAINAGE, SUBBASE, PAVING, GUARDRAIL, TRAFFIC SIGNALS, SIGNAGE AND OTHER HIGHWAY RELATED ITEMS.



CONSTRUCTION IS TO BE CARRIED ON IN ACCORDANCE WITH THESE PLANS AND THE STANDARD SPECIFICATIONS FOR CONSTRUCTION DATED 2011, AS APPROVED BY THE FEDERAL HIGHWAY ADMINISTRATION ON JUNE 20, 2011 FOR USE ON THIS PROJECT, INCLUDING ALL SUBSEQUENT REVISIONS AND SUCH REVISED SPECIFICATIONS AND SPECIAL PROVISIONS AS ARE INCORPORATED IN THESE PLANS.

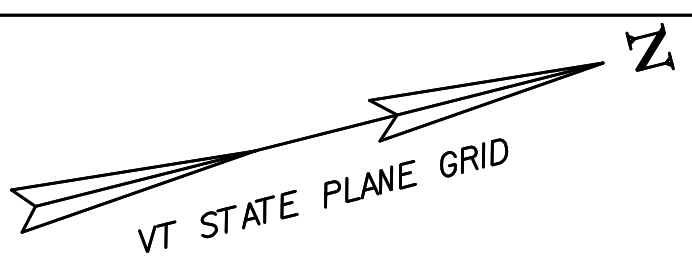
Metric
UNLESS NOTED OTHERWISE
STATIONS ARE IN KILOMETERS
ELEVATIONS ARE IN METERS
DIMENSIONS ARE IN MILLIMETERS

QUALITY ASSURANCE PROGRAM : LEVEL I
SURVEYED BY : VTRANS
SURVEYED DATE : 06-25-1999
DATUM
VERTICAL NAVD 88
HORIZONTAL NAD 83/96



TYLINTERNATIONAL

DIRECTOR OF PROJECT DELIVERY
APPROVED <i>[Signature]</i> DATE 10/31/2016
PROJECT MANAGER : ERIN LEWIS, P.E.
PROJECT NAME : COLCHESTER
PROJECT NUMBER : STP 5600 (9) S
SHEET 1 OF 185 SHEETS

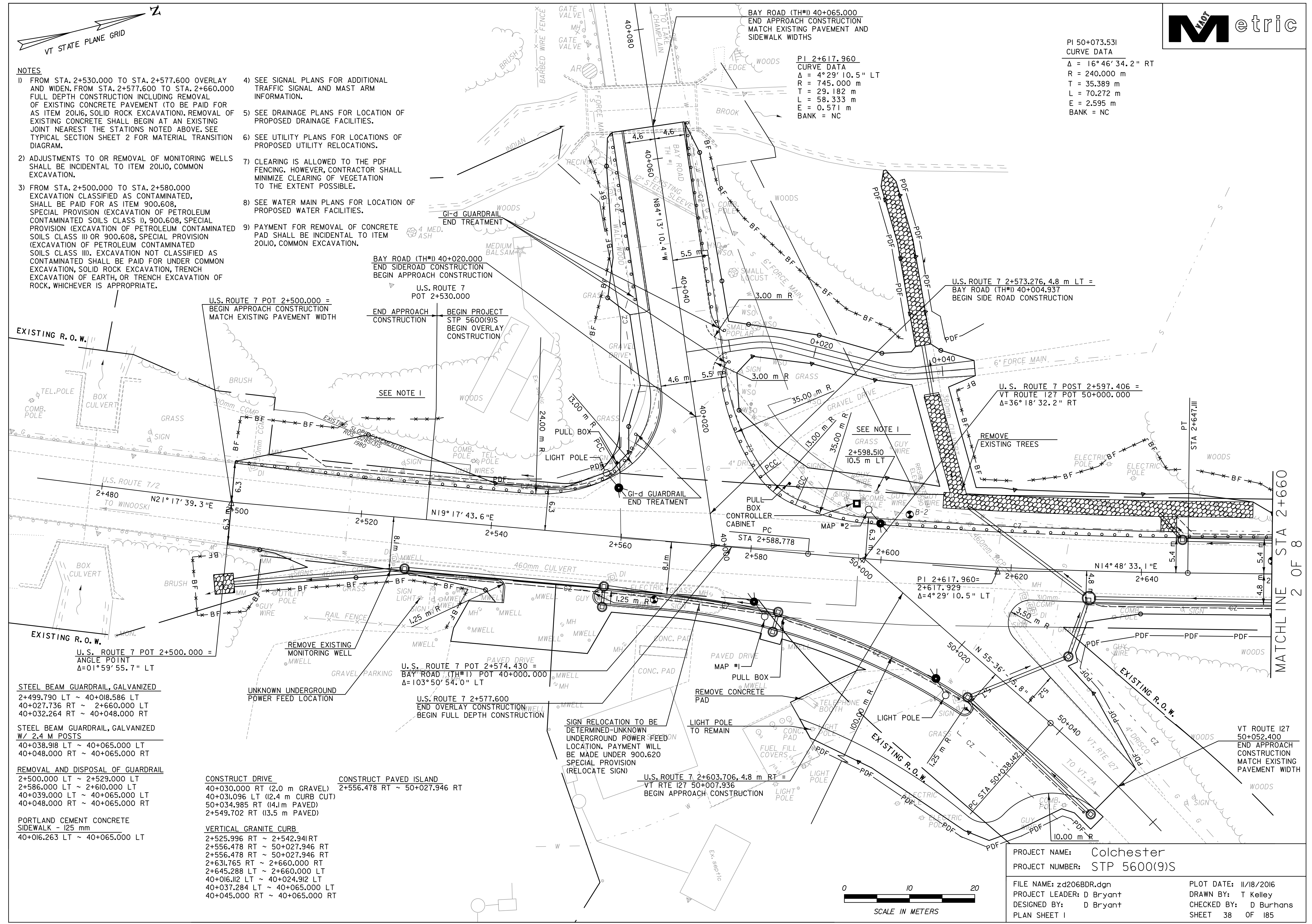


NOTES

- 1) FROM STA. 2+530.000 TO STA. 2+577.600 OVERLAY AND WIDEN FROM STA. 2+577.600 TO STA. 2+660.000 FULL DEPTH CONSTRUCTION INCLUDING REMOVAL OF EXISTING CONCRETE PAVEMENT (TO BE PAID FOR AS ITEM 201.6, SOLID ROCK EXCAVATION). REMOVAL OF EXISTING CONCRETE SHALL BEGIN AT AN EXISTING JOINT NEAREST THE STATIONS NOTED ABOVE. SEE TYPICAL SECTION SHEET 2 FOR MATERIAL TRANSITION DIAGRAM.
- 2) ADJUSTMENTS TO OR REMOVAL OF MONITORING WELLS SHALL BE INCIDENTAL TO ITEM 201.0, COMMON EXCAVATION.
- 3) FROM STA. 2+500.000 TO STA. 2+580.000 EXCAVATION CLASSIFIED AS CONTAMINATED, SHALL BE PAID FOR AS ITEM 900.608, SPECIAL PROVISION (EXCAVATION OF PETROLEUM CONTAMINATED SOILS CLASS II), 900.608, SPECIAL PROVISION (EXCAVATION OF PETROLEUM CONTAMINATED SOILS CLASS II) OR 900.608, SPECIAL PROVISION (EXCAVATION OF PETROLEUM CONTAMINATED SOILS CLASS III). EXCAVATION NOT CLASSIFIED AS CONTAMINATED SHALL BE PAID FOR UNDER COMMON EXCAVATION, SOLID ROCK EXCAVATION, TRENCH EXCAVATION OF EARTH, OR TRENCH EXCAVATION OF ROCK, WHICHEVER IS APPROPRIATE.
- 4) SEE SIGNAL PLANS FOR ADDITIONAL TRAFFIC SIGNAL AND MAST ARM INFORMATION.
- 5) SEE DRAINAGE PLANS FOR LOCATION OF PROPOSED DRAINAGE FACILITIES.
- 6) SEE UTILITY PLANS FOR LOCATIONS OF PROPOSED UTILITY RELOCATIONS.
- 7) CLEARING IS ALLOWED TO THE PDF FENCING. HOWEVER, CONTRACTOR SHALL MINIMIZE CLEARING OF VEGETATION TO THE EXTENT POSSIBLE.
- 8) SEE WATER MAIN PLANS FOR LOCATION OF PROPOSED WATER FACILITIES.
- 9) PAYMENT FOR REMOVAL OF CONCRETE PAD SHALL BE INCIDENTAL TO ITEM 201.0, COMMON EXCAVATION.

PI 2+617.960
 CURVE DATA
 $\Delta = 4^{\circ}29'10.5''$ LT
 R = 745.000 m
 T = 29.182 m
 L = 58.333 m
 E = 0.571 m
 BANK = NC

PI 50+073.531
 CURVE DATA
 $\Delta = 16^{\circ}46'34.2''$ RT
 R = 240.000 m
 T = 35.389 m
 L = 70.272 m
 E = 2.595 m
 BANK = NC



STEEL BEAM GUARDRAIL, GALVANIZED
 2+499.790 LT ~ 40+018.586 LT
 40+027.736 RT ~ 2+660.000 LT
 40+032.264 RT ~ 40+048.000 RT

STEEL BEAM GUARDRAIL, GALVANIZED W/ 2.4 M POSTS
 40+038.918 LT ~ 40+065.000 LT
 40+048.000 RT ~ 40+065.000 RT

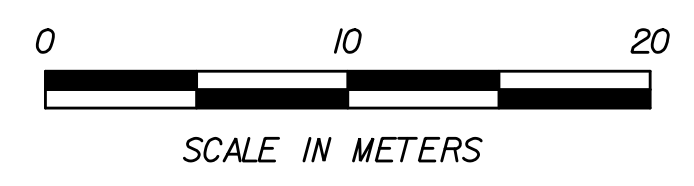
REMOVAL AND DISPOSAL OF GUARDRAIL
 2+500.000 LT ~ 2+529.000 LT
 2+586.000 LT ~ 2+610.000 LT
 40+039.000 LT ~ 40+065.000 LT
 40+048.000 RT ~ 40+065.000 RT

PORTLAND CEMENT CONCRETE SIDEWALK - 125 mm
 40+016.263 LT ~ 40+065.000 LT

CONSTRUCT DRIVE
 40+030.000 RT (2.0 m GRAVEL)
 40+031.096 LT (12.4 m CURB CUT)
 50+034.985 RT (4.1 m PAVED)
 2+549.702 RT (13.5 m PAVED)

CONSTRUCT PAVED ISLAND
 2+556.478 RT ~ 50+027.946 RT

VERTICAL GRANITE CURB
 2+525.996 RT ~ 2+542.941 RT
 2+556.478 RT ~ 50+027.946 RT
 2+556.478 RT ~ 50+027.946 RT
 2+631.765 RT ~ 2+660.000 RT
 2+645.288 LT ~ 2+660.000 LT
 40+016.112 LT ~ 40+024.912 LT
 40+037.284 LT ~ 40+065.000 LT
 40+045.000 RT ~ 40+065.000 RT

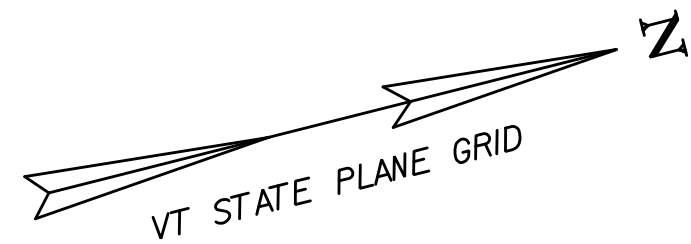


PROJECT NAME: Colchester
 PROJECT NUMBER: STP 5600(9)S

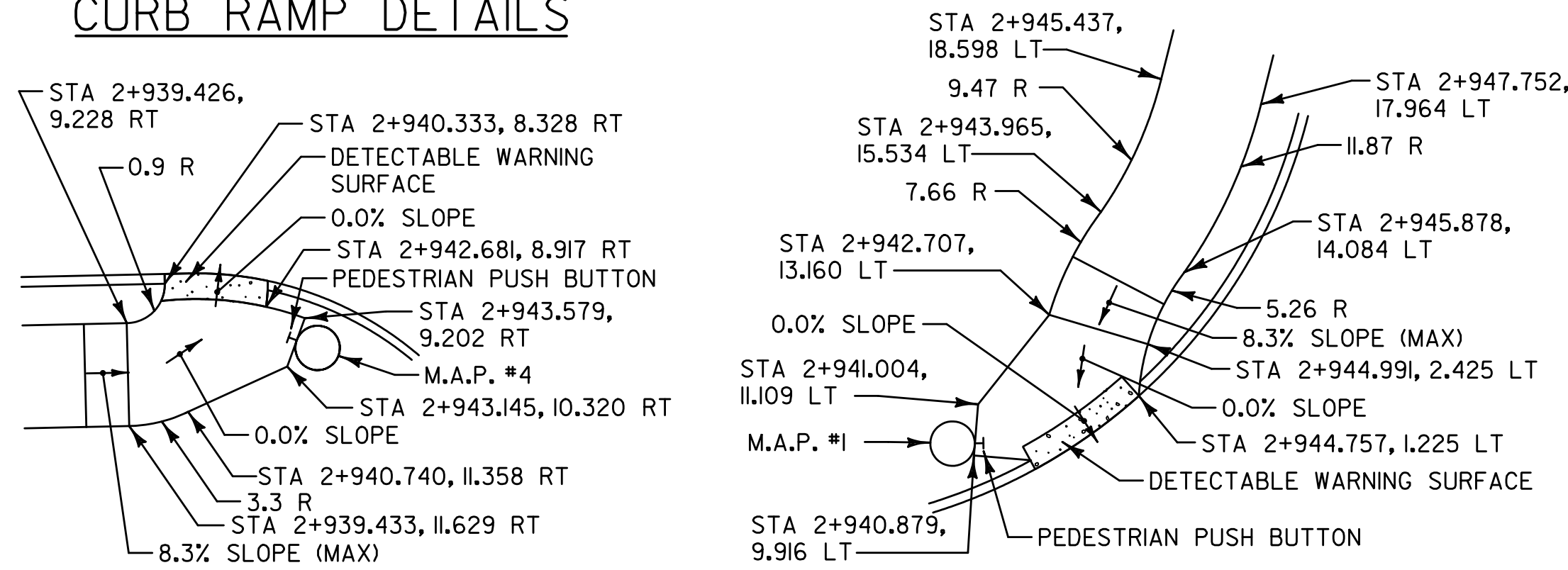
FILE NAME: zd206BDR.dgn
 PROJECT LEADER: D Bryant
 DESIGNED BY: D Bryant
 PLAN SHEET I

PLOT DATE: 11/18/2016
 DRAWN BY: T Kelley
 CHECKED BY: D Burhans
 SHEET 38 OF 185

MATCHLINE STA 2+660
 2 OF 8



CURB RAMP DETAILS



VERTICAL GRANITE CURB
 2+830.000 RT ~ 2+040.000 RT
 2+837.392 LT ~ 2+858.767 LT
 2+860.513 RT ~ 2+940.334 RT
 2+878.370 LT ~ 2+942.164 LT
 2+898.153 RT ~ 2+918.413 RT
 2+926.242 RT ~ 2+938.812 RT
 2+942.734 RT ~ 2+948.893 RT
 2+961.144 RT ~ 2+984.000 RT
 32+032.032 RT ~ 3+000.000 LT
 32+032.032 RT ~ 2+990.217 LT
 22+009.221 LT ~ 22+022.251 LT
 22+033.685 LT ~ 22+040.000 LT
 32+008.931 LT ~ 32+040.000 LT

CONSTRUCT PAVED ISLAND
 32+032.032 RT ~ 2+990.217 LT

CONSTRUCT BIKE/PED PATH
 22+040.000 LT ~ 2+939.426 RT
 32+011.311 LT ~ 32+040.000 LT

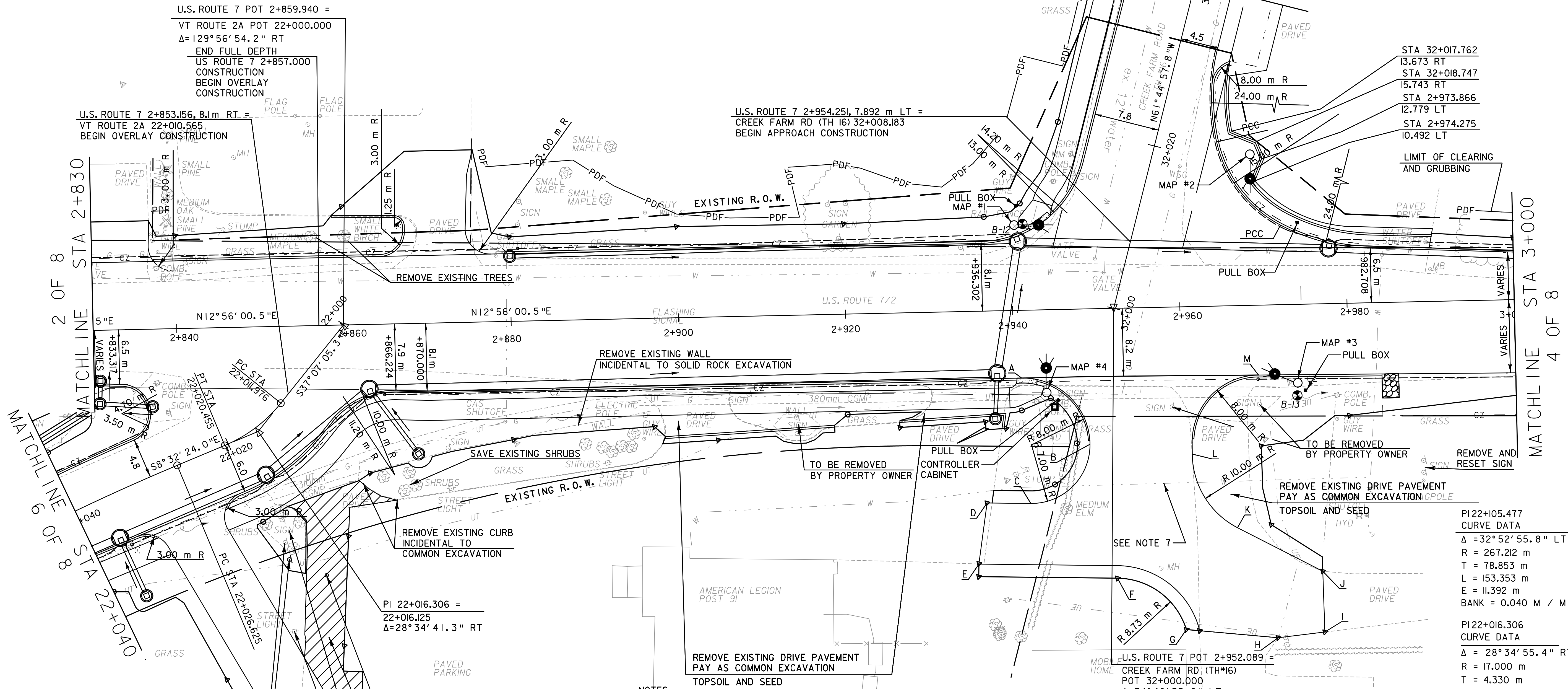
REMOVING AND RESETTING LIGHT POLE
 FROM 22+021.346, 23.735m LT
 TO 22+018.000, 19.400m LT

DETECTABLE WARNING SURFACE
 (SEE STD C-3A, C-3B)

2+941.526 RT, RAMP TYPE I
 2+944.484 LT, RAMP TYPE I

CONSTRUCT DRIVE
 2+832.386 LT (8.8 m PAVED)
 2+871.212 LT (7.3 m PAVED)
 2+955.001 RT (12.2m PAVED)
 32+040.044 RT (12 m PAVED)
 22+027.733 LT (7.3 m PAVED)

RELOCATE MAILBOX, SINGLE SUPPORT
 2+990.00, LT



DRIVE POINTS TABLE

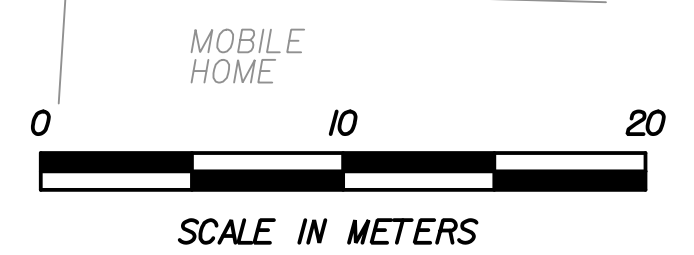
POINT	STATION	OFFSET
A	2+940.900	8.100 m RT
B	2+949.900	16.187 m RT
C	2+941.672	23.107 m RT
D	2+936.439	22.936 m RT
E	2+935.306	30.233 m RT
F	2+951.892	30.765 m RT
G	2+961.537	38.754 m RT
H	2+970.896	39.796 m RT
I	2+976.502	39.233 m RT
J	2+976.410	31.961 m RT
K	2+966.325	26.544 m RT
L	2+961.107	17.630 m RT
M	2+696.229	8.351 m RT

NOTES

- FROM STA. 2+830.000 TO STA. 2+857.000 USE FULL DEPTH CONSTRUCTION. REMOVAL OF EXISTING CONCRETE PAVEMENT AND BITUMINOUS CONCRETE PAVEMENT ON TOP OF IT WILL BE PAID FOR AS SOLID ROCK EXCAVATION. THE REMOVAL OF THE BITUMINOUS CONCRETE BEYOND THE CONCRETE PAVEMENT SHALL BE PAID FOR AS COMMON EXCAVATION. FROM STA. 2+857.000 TO STA. 3+000.000 USE OVERLAY AND WIDENING.
- SEE SIGNAL PLANS FOR LOCATIONS OF TRAFFIC SIGNALS AND MAST ARMS.
- SEE DRAINAGE PLANS FOR LOCATION OF PROPOSED DRAINAGE FACILITIES.
- SEE UTILITY PLANS FOR LOCATIONS OF PROPOSED UTILITY RELOCATIONS.
- CLEARING IS ALLOWED TO THE PDF FENCING. HOWEVER, CONTRACTOR SHALL MINIMIZE CLEARING OF VEGETATION TO THE EXTENT POSSIBLE.
- SEE WATER MAIN PLANS FOR LOCATION OF PROPOSED WATER FACILITIES.
- THE CONTRACTOR SHALL EXCAVATE A TEST PIT TO DETERMINE THE COVER OVER THE EXISTING WATER MAIN TO THE PROPOSED ENTRANCE GRADE. IF COVER IS LESS THAN 1.83 m INSTALL 1.2 M WIDE X 50 mm THICK INSULATION BOARD WITHIN THE LIMITS OF DISTURBANCE OVER THE EXISTING WATER MAIN. PAYMENT FOR EXCAVATION OF TEST PIT WILL BE MADE UNDER THE TRENCH EXCAVATION OF EARTH, EXPLORATORY (N.A.B.I.) ITEM (204.22). PAYMENT FOR THE INSTALLATION OF THE INSULATION BOARD WILL BE MADE UNDER THE INSULATION BOARD ITEM (622.10).
- CONTRACTOR SHALL PROTECT TREES AND SHRUBS MARKED TO BE SAVED IN ACCORDANCE WITH SUBSECTION 656.10. PAYMENT WILL BE MADE UNDER ITEM 656.85, 'TREE PROTECTION'.

PI 22+105.477
 CURVE DATA
 $\Delta = 32^\circ 52' 55.8''$ LT
 R = 267.212 m
 T = 78.853 m
 L = 153.353 m
 E = 11.392 m
 BANK = 0.040 M / M

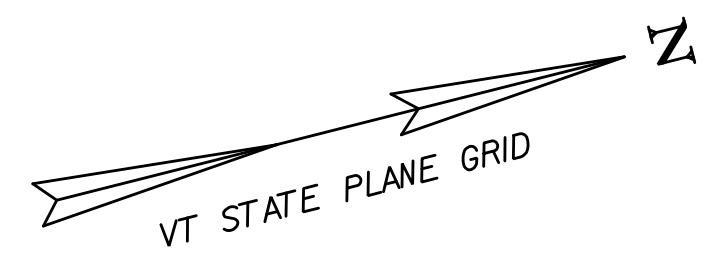
PI 22+016.306
 CURVE DATA
 $\Delta = 28^\circ 34' 41.3''$ RT
 R = 17.000 m
 T = 4.330 m
 L = 8.479 m
 E = 0.543 m
 BANK = NC



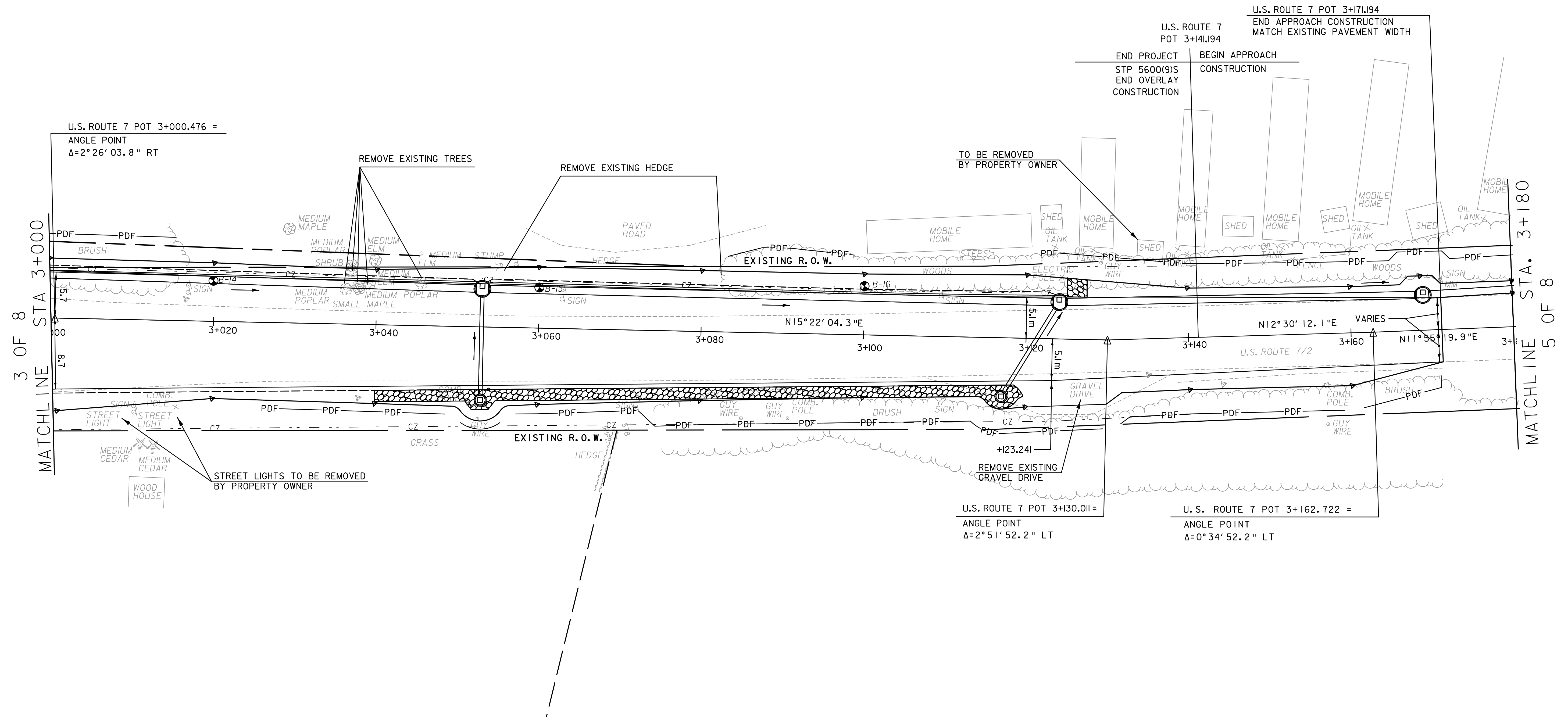
PROJECT NAME: Colchester
 PROJECT NUMBER: STP 5600(9)S

FILE NAME: z2d206BDR.dgn
 PROJECT LEADER: D Bryant
 DESIGNED BY: D Bryant
 PLAN SHEET 3

PLOT DATE: 11/18/2016
 DRAWN BY: T Kelley
 CHECKED BY: D Burhans
 SHEET 40 OF 185

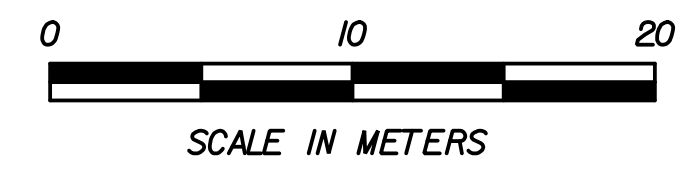


VERTICAL GRANITE CURB
3+000.000 LT ~ 3+125.000 LT



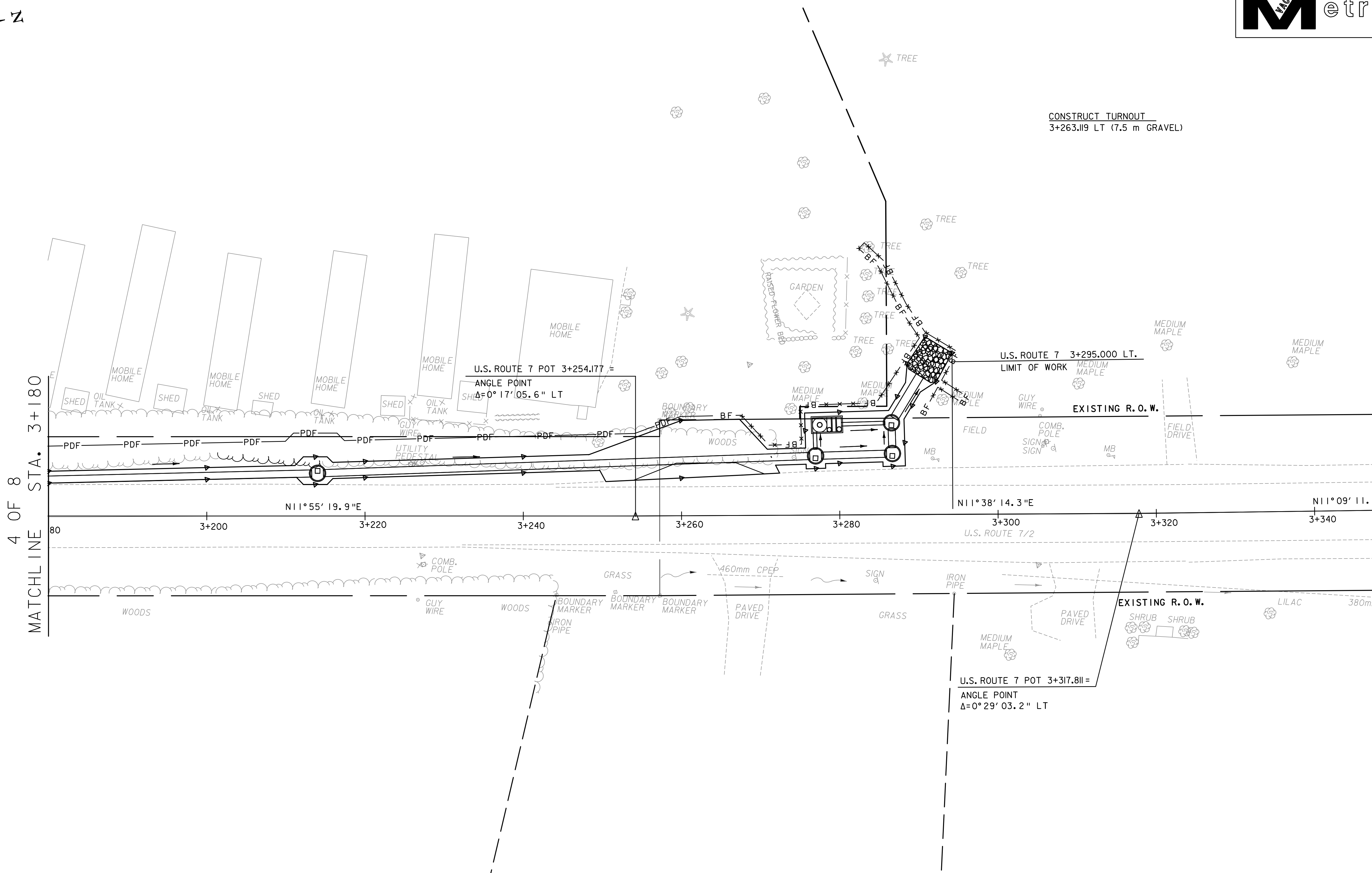
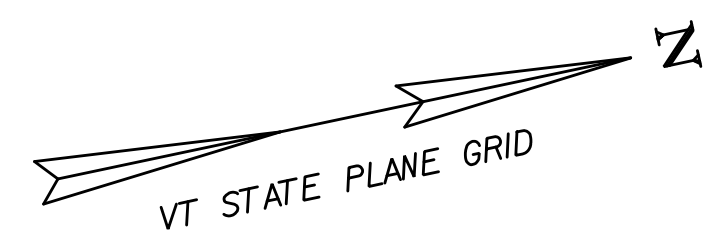
3 OF 8
MATCHLINE STA 3+000

MATCHLINE STA. 3+180
5 OF 8



- NOTES**
- 1) SEE DRAINAGE PLANS FOR LOCATION OF PROPOSED DRAINAGE FACILITIES.
 - 2) CLEARING IS ALLOWED TO THE PDF FENCING. HOWEVER, CONTRACTOR SHALL MINIMIZE CLEARING OF VEGETATION TO THE EXTENT POSSIBLE.
 - 3) EXISTING TREES NOTED TO BE REMOVED SHALL BE PAID FOR AS ITEM 2010, CLEARING AND GRUBBING, INCLUDING INDIVIDUAL TREES AND STUMPS.

PROJECT NAME: Colchester	
PROJECT NUMBER: STP 5600(9)S	
FILE NAME: zd206BDR.dgn	PLOT DATE: 11/18/2016
PROJECT LEADER: D Bryant	DRAWN BY: T Kelley
DESIGNED BY: D Bryant	CHECKED BY: D Burhans
PLAN SHEET 4	SHEET 41 OF 185



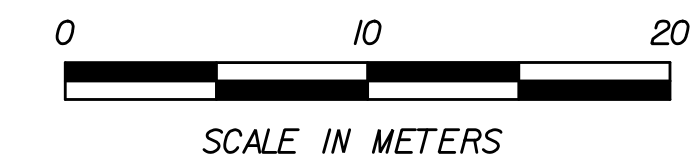
MATCHLINE STA. 3+180
4 OF 8

CONSTRUCT TURNOUT
3+263.119 LT (7.5 m GRAVEL)

U.S. ROUTE 7 POT 3+254.177 =
ANGLE POINT
Δ=0° 17' 05.6" LT

U.S. ROUTE 7 3+295.000 LT.

U.S. ROUTE 7 POT 3+317.811 =
ANGLE POINT
Δ=0° 29' 03.2" LT



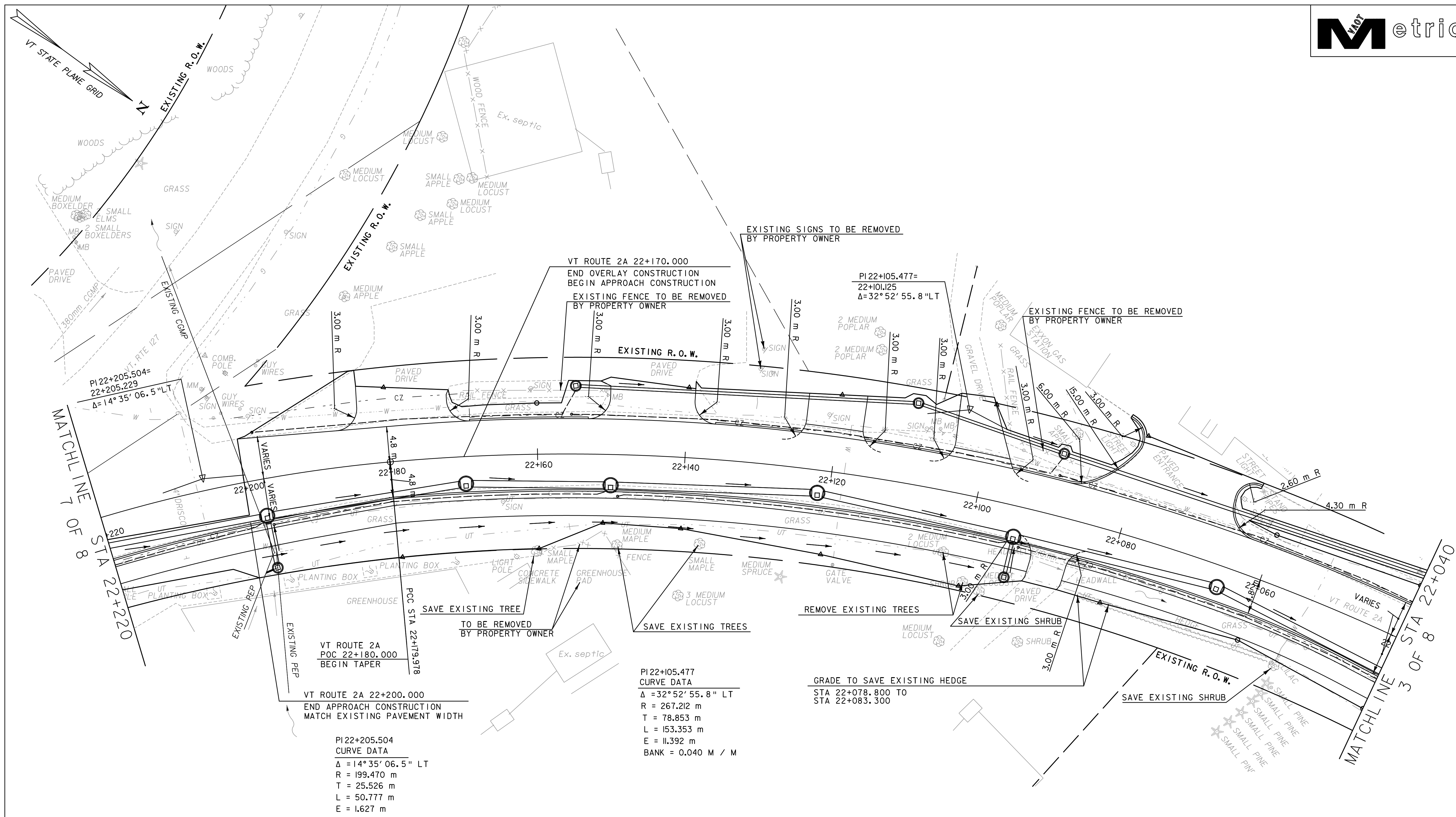
NOTES

- 1) SEE DRAINAGE PLANS FOR LOCATION OF PROPOSED DRAINAGE FACILITIES.
- 2) CLEARING IS ALLOWED TO THE PDF FENCING. HOWEVER, CONTRACTOR SHALL MINIMIZE CLEARING OF VEGETATION TO THE EXTENT POSSIBLE.

PROJECT NAME: Colchester
PROJECT NUMBER: STP 5600(9)S

FILE NAME: zd206BDR.dgn
PROJECT LEADER: D Bryant
DESIGNED BY: D Bryant
PLAN SHEET 5

PLOT DATE: 11/18/2016
DRAWN BY: T Kelley
CHECKED BY: D Burhans
SHEET 42 OF 185



MATCHLINE 7 OF 8
STA 22+220

MATCHLINE 3 OF 8
STA 22+040

PI 22+205.504 =
22+205.229
Δ = 14° 35' 06.5" LT

VT ROUTE 2A
POC 22+180.000
BEGIN TAPER
PCC STA 22+179.978

PI 22+205.504
CURVE DATA
Δ = 14° 35' 06.5" LT
R = 199.470 m
T = 25.526 m
L = 50.777 m
E = 1.627 m

VT ROUTE 2A 22+170.000
END OVERLAY CONSTRUCTION
BEGIN APPROACH CONSTRUCTION
EXISTING FENCE TO BE REMOVED
BY PROPERTY OWNER

PI 22+105.477
CURVE DATA
Δ = 32° 52' 55.8" LT
R = 267.212 m
T = 78.853 m
L = 153.353 m
E = 11.392 m
BANK = 0.040 M / M

GRADE TO SAVE EXISTING HEDGE
STA 22+078.800 TO
STA 22+083.300

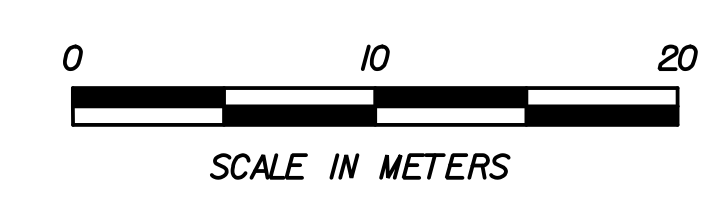
CONSTRUCT DRIVE
22+073.586 RT (14.3 m PAVED)
22+088.407 LT (4.2 m PAVED)
22+100.642 RT (5.5 m GRAVEL)
22+120.000 RT (11.5 m GRAVEL)
22+144.686 RT (11.5 m PAVED)
22+177.827 RT (12.2 m PAVED)

VERTICAL GRANITE CURB
22+040.000 RT ~ 22+063.973 RT
22+040.000 LT ~ 22+085.279 LT
22+082.748 RT ~ 22+096125 RT
22+091.535 LT ~ 22+220.000 LT
22+104.845 RT ~ 22+116.086 RT
22+124.805 RT ~ 22+136.205 RT
22+153.170 RT ~ 22+168.982 RT

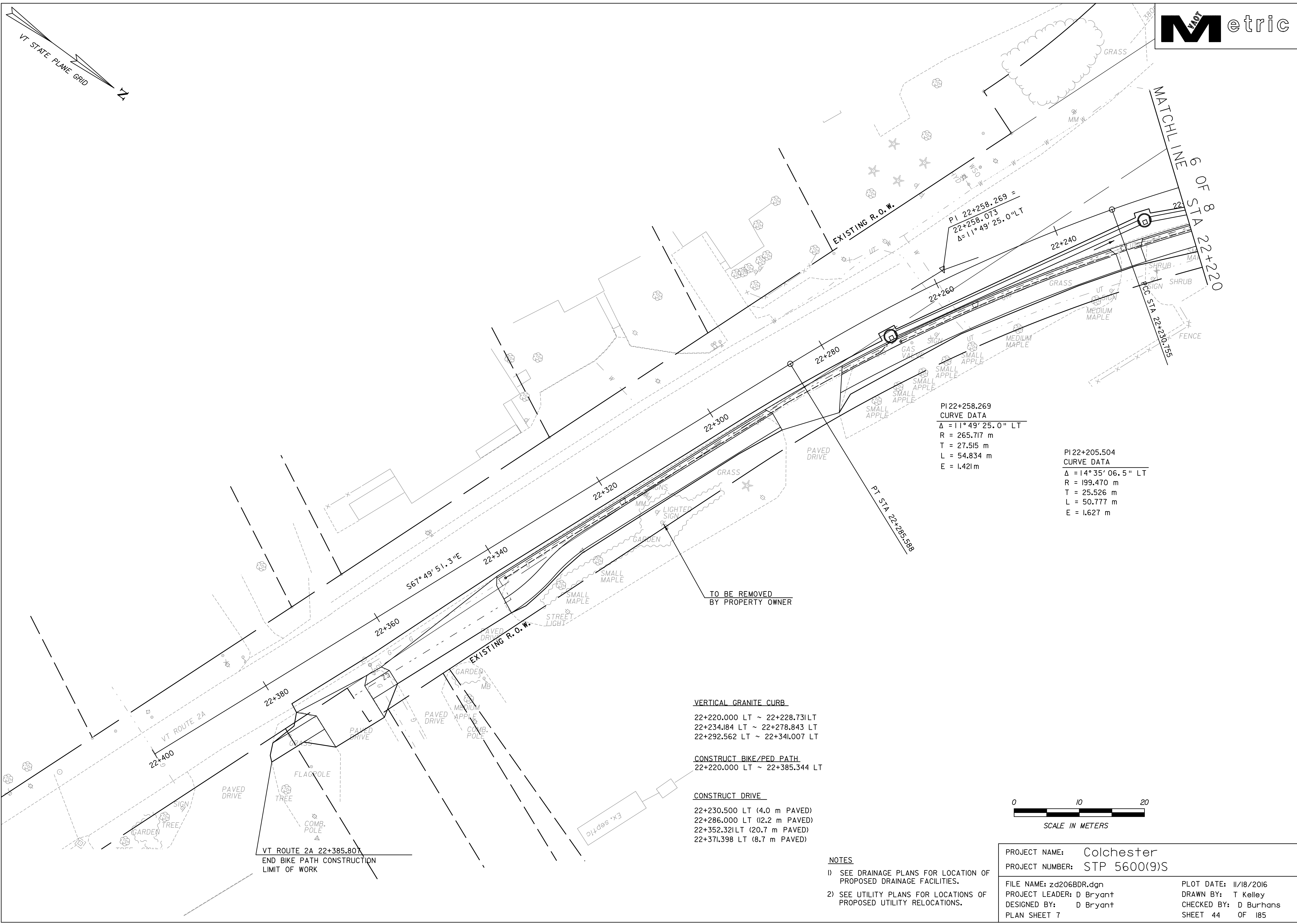
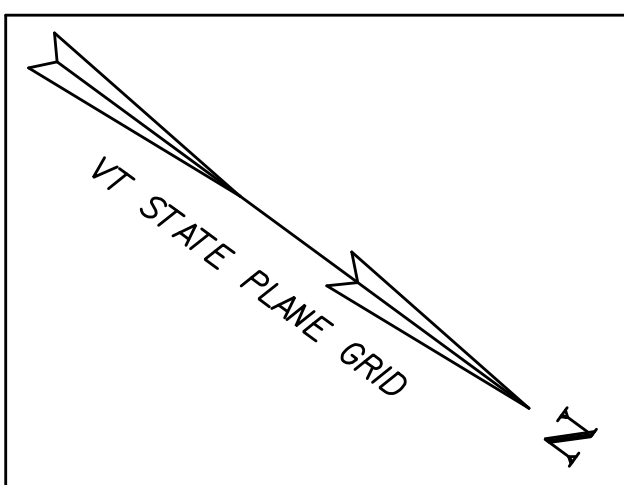
CONSTRUCT BIKE/PED PATH
22+040.000 LT ~ 22+220.000 LT

RELOCATE MAILBOX, SINGLE SUPPORT
22+107.000, RT
22+108.000, RT
22+151.000, RT

- NOTES**
- SEE DRAINAGE PLANS FOR LOCATION OF PROPOSED DRAINAGE FACILITIES.
 - SEE UTILITY PLANS FOR LOCATIONS OF PROPOSED UTILITY RELOCATIONS.
 - SEE WATER MAIN PLANS FOR LOCATIONS OF PROPOSED WATER FACILITIES.
 - EXISTING TREES NOTED TO BE REMOVED WILL BE PAID FOR AS ITEM 201.10, CLEARING AND GRUBBING, INCLUDING INDIVIDUAL TREES AND STUMPS.
 - CONTRACTOR SHALL PROTECT TREES SHRUBS AND HEDGES MARKED TO BE SAVED IN ACCORDANCE WITH SUBSECTION 656.10. PAYMENT WILL BE MADE UNDER ITEM 656.10, "TREE PROTECTION".



PROJECT NAME:	Colchester	PLOT DATE:	11/18/2016
PROJECT NUMBER:	STP 5600(9)S	DRAWN BY:	T Kelley
FILE NAME:	z2d06BDR.dgn	CHECKED BY:	D Burhans
PROJECT LEADER:	D Bryant	SHEET	43 OF 185
DESIGNED BY:	D Bryant	PLAN SHEET	6



PI22+258.269
 CURVE DATA
 $\Delta = 11^{\circ} 49' 25.0''$ LT
 R = 265.717 m
 T = 27.515 m
 L = 54.834 m
 E = 1.421 m

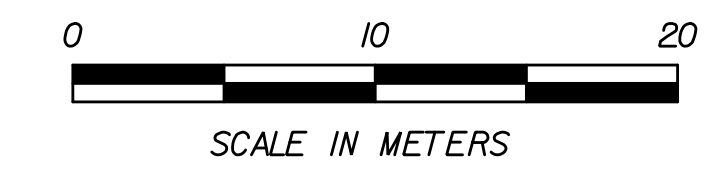
PI22+205.504
 CURVE DATA
 $\Delta = 14^{\circ} 35' 06.5''$ LT
 R = 199.470 m
 T = 25.526 m
 L = 50.777 m
 E = 1.627 m

TO BE REMOVED
 BY PROPERTY OWNER

VERTICAL GRANITE CURB
 22+220.000 LT ~ 22+228.731 LT
 22+234.184 LT ~ 22+278.843 LT
 22+292.562 LT ~ 22+341.007 LT

CONSTRUCT BIKE/PED PATH
 22+220.000 LT ~ 22+385.344 LT

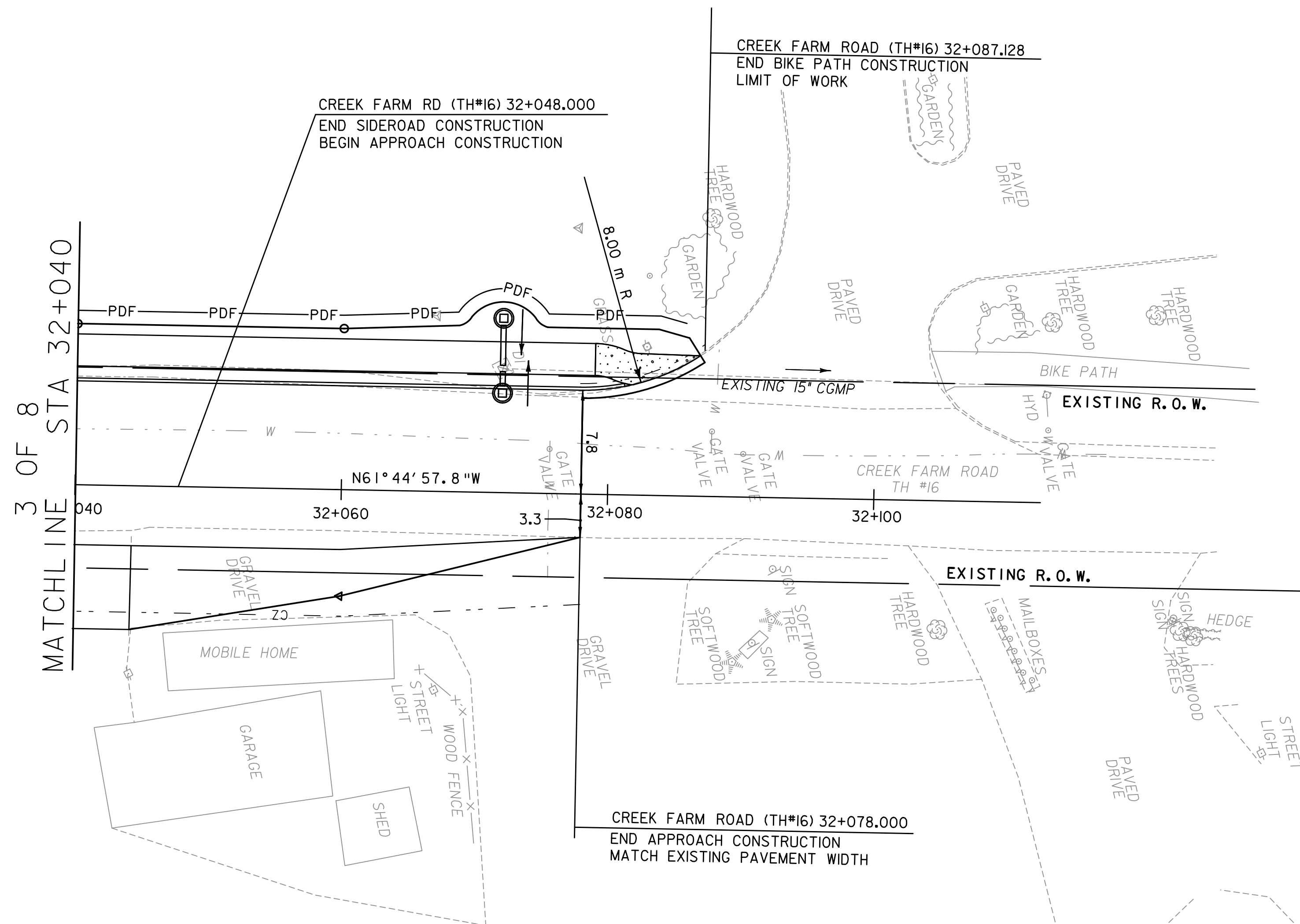
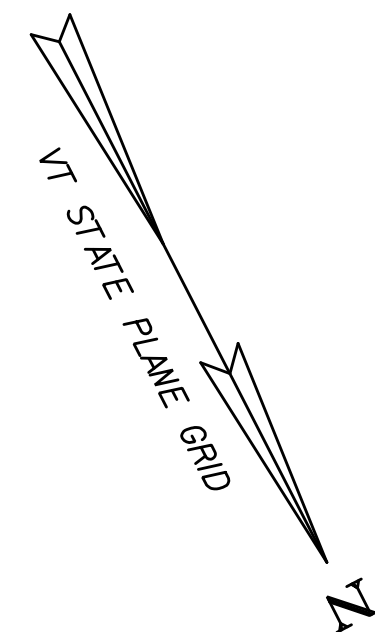
CONSTRUCT DRIVE
 22+230.500 LT (4.0 m PAVED)
 22+286.000 LT (12.2 m PAVED)
 22+352.321 LT (20.7 m PAVED)
 22+371.398 LT (8.7 m PAVED)



VT ROUTE 2A 22+385.80X
 END BIKE PATH CONSTRUCTION
 LIMIT OF WORK

- NOTES**
- 1) SEE DRAINAGE PLANS FOR LOCATION OF PROPOSED DRAINAGE FACILITIES.
 - 2) SEE UTILITY PLANS FOR LOCATIONS OF PROPOSED UTILITY RELOCATIONS.

PROJECT NAME: Colchester	
PROJECT NUMBER: STP 5600(9)S	
FILE NAME: zd206BDR.dgn	PLOT DATE: 11/18/2016
PROJECT LEADER: D Bryant	DRAWN BY: T Kelley
DESIGNED BY: D Bryant	CHECKED BY: D Burhans
PLAN SHEET 7	SHEET 44 OF 185

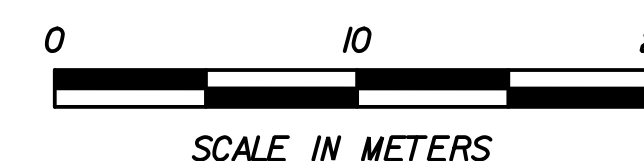


DETECTABLE WARNING SURFACE
(SEE STD C-3A, C-3B)
32+084.344, RAMP TYPE I

VERTICAL GRANITE CURB
32+040.000 LT ~ 32+081.146 LT

CONSTRUCT BIKE/PED PATH
32+040.000 LT ~ 32+086.792 LT

CONSTRUCT DRIVE
32+061.149 RT (33.7 m GRAVEL)



NOTES

- 1) SEE DRAINAGE PLANS FOR LOCATION OF PROPOSED DRAINAGE FACILITIES.
- 2) CLEARING IS ALLOWED TO THE PDF FENCING. HOWEVER, CONTRACTOR SHALL MINIMIZE CLEARING OF VEGETATION TO THE EXTENT POSSIBLE.

PROJECT NAME: Colchester
PROJECT NUMBER: STP 5600(9)S

FILE NAME: zd206BDR.dgn
PROJECT LEADER: D Bryant
DESIGNED BY: D Bryant
PLAN SHEET 8

PLOT DATE: 11/18/2016
DRAWN BY: T Kelley
CHECKED BY: D Burhans
SHEET 45 OF 185